



Development Application
Town of Stowe Planning & Zoning Department
PO Box 730
Stowe, VT 05672
Telephone: (802) 253-6141
This form serves as an application for all requested zoning and subdivision reviews.

Project # (To be assigned)
Date Received:

Property Owner Information

Property Owner	LC1 Owner Stowe VT LLC
Mailing Street Address City, State and Zip	175 Portland Street Fl 4 Boston MA 02114
Telephone Number (617) 892-4942	Email tom@churchilljames.com

Applicant Information (Relationship to Owner)
 Owner (If so, skip to property information) Lessee Contractor
 Architect/Designer Agent for Owner Under purchase contract
All information and correspondence is sent to applicant/contact.

Applicant Name Company (if any)	
Mailing Street Address City, State and Zip	
Phone Number	Email

Property Information & Location

Physical Address	511 Mountain Road
Tax Map ID	7A-101.000
Existing Use Vacant	Proposed Use Residential

Please briefly describe the proposed project, intended use, and/or development request below:

Proposed 24-unit Planned Residential Development (PRD) on an existing ±14.84-acre parcel located along Eagle Ridge Road in the Village Commercial (VC-30) and Village Residential (VR-40) zoning districts.

For All Approvals:
The below signed hereby agrees that the proposed work shall be done in accordance with the application, plan, specifications, and other associated documentation and that the work shall conform to all applicable town ordinances and regulations. Signing as an "Agent for Owner" indicates that the person signing has the permission of the owner to act on the owner's behalf. Additional permits may be needed from the State of Vermont and/or the Town of Stowe for development.

Indicate if: <input checked="" type="checkbox"/> Property Owner OR <input type="checkbox"/> Agent for Owner	Signature: <i>Thomas Keane</i> Date: 08/15/24
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Additional application information is required on reverse side: ➔

Note: Local Zoning approval does not cover any required state approvals. Wastewater System and Potable Water Supply permits may be required for construction or modifications that change the wastewater flow. Other State permits may be required for certain uses. The applicant is advised to contact a DEC Permit Specialist to discuss the State permit requirements at 802-505-5367.

Construction Information

A site plan showing the proposed development is required if construction is involved.
The applicant is responsible for determining property lines and setbacks.

Please answer the questions below for all projects:

Will there be a new curb cut (driveway opening)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will over 1/2 acre of land be graded or disturbed?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Will the development create an additional 1/2 acre of impervious surface?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Will there be other changes resulting in increased sewer or water flows?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Will there be a new connection to the Stowe sewage system?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Will there be a new connection to the Stowe water system?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Is any portion of the building rented out?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is an Act 250 permit or amendment required?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Maximum Bldg. Height: 22' 7"* Building Height is defined as the vertical distance measured from the average elevation of the proposed finished grade at the front or rear of the building to the highest point of the roof for flat and mansard roofs, and to the average height between eaves and ridge for other types of roofs. On sloping sites the height will be measured on the uphill side.

Please answer the questions below for all projects involving residential dwellings:

Existing Rooms: N/A	# Bathrooms:	# Bedrooms:	# Kitchens:
New Rooms: N/A	# Bathrooms:	# Bedrooms:	# Kitchens:

Please complete the fee calculation below for all applications:

Zoning Permit Fees - Single & Two-Family Dwellings (Permitted Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.30	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.)	\$0.10	
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$60.00	
Minimum application fee for Single & Two-Family Dwellings/Permitted Uses	\$60.00	
Fee:		\$
Zoning Permit Fees - Conditional Uses (Commercial & Multi-Family Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.40	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.)	\$0.25	
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$100	
Administrative amendment by Zoning Administrator	\$75.00	
Fee:		\$
Development Review & Public Hearing Fees	Fee/Sq. Ft.	Fee Required
Appeal of Action of Zoning Administrator	\$250.00	
Variance or Dimensional Waiver	\$250.00	
Conditional Use Review	\$250.00	
Ridgeline & Hillside Overlay District (RHOD) Review	\$250.00	
Design Review (Single-Family & Two-Family Dwelling)	\$60.00	
Design Review (All other uses except Single-Family & Two-Family Dwelling)	\$250.00	
Subdivision Review (includes PRD's & PUD's)		
Preliminary Layout Application (base fee)	\$250.00	
Preliminary Layout (fee per unit or lot if equal to and/or more than 5 lots/units)	\$275.00	
Final Plat Application (base fee)	\$250.00	\$250
Final Plat Application (additional fee per unit or lot if preliminary layout was not required) 24 units	\$150.00	\$3,600
Minimal Alteration reviewed by Zoning Administrator	\$100.00	
Other subdivision applications/amendments requiring DRB approval	\$250.00	
Fee:		\$
Signs	\$70.00	
Fee:		\$
Recording Fees /Stowe Land Records (set by state law)		

Additional Recording Fee for decision notice	\$15.00/page	\$
Additional Recording Fee for permit	\$15.00/page	\$ 15.00
Additional Recording Fee for Mylar	\$25.00/sheet	\$ 25.00
Total Application Fee Including Recording		\$3,890

Payments should be made to the Town of Stowe. Payment can be made by cash, check, or with a credit card (Mastercard, Visa or Discover) or online. Go to www.townofstovevt.org/townclerk/ and [click the link for online payments](#). Please note there is a 3% convenience fee for credit card payments.

Incomplete applications will be returned. A complete application must include a site plan, elevation drawings, and floorplans. See application checklists for additional guidance.

OFFICE USE ONLY

Date Received _____

Zoning District _____

Overlay District _____

Approved Date _____

Effective Date _____

Expiration Date _____

Denied Date _____

Reason _____

Permit Fee	\$
Recording Fee	\$
TOTAL FEE	\$

Check #

Cash

Referred _____

Hearing Date _____

Comments/Conditions

Zoning Administrator

Date

For assistance, please contact the Planning & Zoning Department of 253-6141 or by email at PandZ@stovevt.gov

The Town of Stowe welcomes all persons, regardless of race, color, religion, national origin, sex, gender identity or expression, family status, age, or ability, and wants everyone to feel safe and welcome in our community. As a town, we formally condemn discrimination in all its forms, commit to fair and equal treatment of everyone in our community, and will strive to ensure all of our actions, policies, and operating procedures reflect this commitment. The Town of Stowe has and will continue to be a place where individuals can live freely and express their opinion.



Civil Engineers • Land Use Planners

August 15th, 2024

Sarah McShane, Zoning Director and Administrator
Town of Stowe, Akeley Memorial Building
67 Main Street, Stowe, VT 05672

Subject: Proposed 24-unit Planned Residential Development (PRD) Project #23005
LC1 Owner Stowe VT LLC
Eagle Ridge Road, Stowe

Dear Sarah,

Please find attached an application and supporting materials for a proposed 24-unit Planned Residential Development (PRD) on an existing ±14.84-acre parcel located along Eagle Ridge Road in the Village Commercial (VC-30) and Village Residential (VR-40) zoning districts for review by the Development Review Board (DRB).

Included with this application and narrative are the following documents:

- Landscaping Plan and Details, by Aceto Landscape Architects (ALA)
- Architecture Floorplans, Elevations, and Details, by Woodhull
- Building Renderings, by Woodhull
- View Analysis, by Woodhull
- Site Plan and Details, by Mumley Engineering

The applicant proposes the following as part of this project:

- 24 single-family dwellings
- Improvements to existing Eagle Ridge Road to meet private roadway standards (20' wide)
- **Access from Eagle Ridge Road to two new internal private roadways (16' wide)**
- New water and sewer connections to existing municipal systems along Eagle Ridge Road
- New internal stormwater management to collect, treat, and manage runoff
 - o Project is required to acquire State 9050 Operational Stormwater Permit
 - o Project is required to acquire State 9020 Construction Stormwater Permit
- Extensive proposed landscaping
- Significant preservation of existing wooded areas, to be dedicated as Open Space

The two primary design priorities are to as much as reasonably possible:

- 1) Preserve existing landscaping, and
- 2) Minimize visibility of new structures from surrounding areas.

To minimize clearing and disturbance, houses have been predominantly sited close to the roadways and basements have been excluded to allow foundations to step as needed with existing grade. To limit visibility from the surrounding valley, existing tree canopies on the downhill slopes in front of houses are to remain and roofs have been pitched towards the uphill side so that snow covered roofs are not visible in the winter. Limited exterior lighting, surveying of significant trees and house programming have also been considered in support of our primary objectives.

The project meets all zoning requirements, including setbacks, and the following UMR Zoning items:

- Maximum building height = 22'7"
- Density: 5 units per acre (municipal water & sewer)
 - 14.84 acres * 5 = 74 Units allowed
 - 24 proposed units
- Maximum building coverage
 - VR-30: coverage = 0.48ac = 7.7% (less than allowed 30% coverage → Okay)
 - VR-30: coverage = 0.44 SF = 5.3% (less than allowed 15% coverage → Okay)
- Proposed new impervious area = ~2.9 acres
- Proposed disturbed area = ~5.9 acres
- Parking: 2 per residential unit provided

This application includes a proposed PRD, in accordance with Subdivision Regulations. Accordingly, the proposed project will not create any undue adverse impacts on:

- *Character of land for subdivision:*
 - The land is of such a character that it can be used for the intended purposes without undue adverse impact on public health or safety, the environment, neighboring properties, or the rural and historic character of the community
- *Natural and Scenic Features:*
 - The project has been designed to prevent any undue adverse impacts on: brooks, streams, water bodies, ground water resources and wetlands; prime agricultural soils, farmland resources and scenic meadowland; important forest resources; aesthetic resources and scenic vistas, including views onto and arising from subject property.
 - The property includes a Class 2 wetland which will be protected with no impacts to the wetland or its 50' buffer.
 - Included in this submittal is a View Analysis which concludes that the proposed development will not result in undue adverse impacts on views onto or arising from the property, due primarily to the proposed locations and orientations of roads, driveways, and buildings, including elevation differences and a significant effort to maintain wooded area to provide ample screening of the dwellings from public vantage points.
- *Protection of Significant Wildlife Habitat and Natural Communities:*
 - Attached is a Wildlife Habitat Assessment of the property completed by Arrowwood Environmental which concludes that the site contains no significant wildlife habitats including deer wintering habitats. Field work combined with published data revealed an absence of rare, threatened or endangered species or significant natural communities.
- *Historic Sites and Community Character:*
 - As a proposed subdivision in or adjacent to Stowe Village, the project has been designed to reflect traditional village settlement patterns characterized by an appropriate scale of development, an interconnected street network with development oriented to the streetscape, a mix of land uses and pedestrian access.
- *Reserved strips:*
 - Not applicable.
- *Screening:*
 - The project has been designed to provide visual screening of development and to otherwise soften and/or lessen the impact of development on natural features

and scenic vistas.

- *Pedestrian Access:*
 - o Pedestrians will be able to utilize the proposed internal and private roadways to access Mountain Road.
- *Traffic:*
 - o This project is estimated to produce 25 peak hour trips on weekdays, which is expected to be easily absorbed by VT Route 108 (Mountain Road).
 - o As an Act 250 project, this development will be reviewed thoroughly by VT Agency of Transportation for consideration of any significant impacts.
- *Municipal Facilities:*
 - o It is assumed that the Town of Stowe water and sewer systems will be able to accommodate the design flows of the proposed development.
- *Lot Configuration:*
 - o Not applicable (lots are not proposed).
- *Building Zone:*
 - o The site plan includes proposed building locations. Any deviation from these footprints, locations, layouts, or orientations would be minimal.
- *Fire Protection Facilities:*
 - o The proposed project includes roads designed to the Fire Department guidelines, as well as proposed fire hydrants.
- *Disclosure of Subsequent Development Plans:*
 - o There are no plans for future development beyond the current project.
- *Private Enforcement Mechanisms:*
 - o In the event that the landowner decides to sell any of the dwellings there will be the formation of a homeowners association, consisting of the owners of all properties within the PRD, to ensure the continual maintenance of shared driveways and other shared facilities.

Please let us know if you have any questions or comments. Thank you for your time!

Sincerely,
Tyler Mumley, P.E.



Mumley Engineering, Inc.



11/17/2023

TO: Tyler Mumley, Mumley Engineering
FROM: Jeffrey Parsons, Ecologist, Arrowwood Environmental

SUBJECT: Wildlife Study at 511 Mountain Road, Eagle Ridge Road, Stowe, VT

Introduction

Mumley Engineering was informed by the Stowe DRB that a Wildlife Study was required pursuant to their consideration of a subdivision being proposed at 511 Mountain Road. This brief report, based on a November 2023 field evaluation by Arrowwood personnel and a review of the relevant state and local wildlife data, wildlife and habitat Geographical Information System data layers, and species and natural community data provided by the Vermont Natural Heritage Program at Vermont Department of Fish and Wildlife.

Goal of Wildlife Study

To address the presence/absence of 3 main categories of wildlife habitat discussed within Stowe Subdivision Regulations (See page 14 of the Town of Stowe Subdivision Regulations, effective July 16, 2012). Those 3 criteria include the protection of: (1) significant wildlife habitats and natural communities; (2) rare, threatened, and endangered species and significant natural communities; and, (3) deer wintering areas or habitats.

Deer Wintering Areas and Significant Wildlife Habitats

The 14.8-acre parcel in question is located west of the Mountain Road in Stowe. A substantial portion of the parcel is mapped as deer winter habitat by Vermont's Department of Fish and Wildlife. A Vermont Fish and Wildlife biologist has also assessed this sites' potential value as a deer wintering habitat. The parcel is hilly with a few small bedrock outcrops present. Forest covers nearly 100% of the parcel. The forest is generally mixed with evergreen and broad-leaved deciduous trees both present in substantial quantities. White pine is dominant throughout the forest with occasional Eastern hemlock, red spruce, and white cedar trees. Red maple trees are dominant within the forest, while white ash, sugar maple, black cherry, quaking aspen, red oak, and white birch are also present. In general, the forest is comprised of young trees, although because of their relatively fast growth, some white pine trees on the parcel attain sizes of 36" dbh. There are also a few larger red oaks within the forest. There are no perennial streams on the parcel but several small herbaceous wetlands with drainages are scattered throughout the parcel.

White-tailed deer wintering habitat in central and northern Vermont consist of forests with a substantial evergreen or coniferous canopy cover, a cover that often exceeds 75% of the canopy. White cedar, Eastern hemlock, balsam fir, and red spruce are common tree species in Vermont's deer wintering areas. White pine is not a preferred species by wintering deer in regions like Stowe

which receive substantial amounts of accumulating snow during typical winters. White pine is rarely utilized in central to northern Vermont mountainous regions as deer wintering habitat. At this location while coniferous canopy cover (i.e. overhead tree cover) does in places, exceed the 75% threshold – the cover is dominated by white pine, a species not heavily utilized by white-tailed deer in snowy regions within Vermont. The forest structure, and to a lesser extent, the composition meets the definition of deer wintering habitat. In my professional opinion, other factors at this site detract from the value of the forest to serve as winter habitat by deer. At all locations within the parcel, the background noise levels were very high, largely resulting from cars and traffic on the nearby Mountain Road, but also from construction activities and other sounds of nearby village life. The forest has several bike, snowshoe, and walking trails as well as at least one wider path that could be utilized by ATV's and other motorized vehicles. It is likely that the site has many visiting humans, their pets, and their disturbances. In general, the forest also lacks a substantial woody plant understory and as a result sound carries widely throughout the forest. This lack of a well-developed understory also greatly increases the horizontal visibility within the parcel – a condition not favored by sensitive over-wintering deer in areas with a large presence of human activities.

During my site reconnaissance a total of 2-3 recently deposited deer scat piles, and a few individual browsed woody plants were the only evidence observed of deer use of the forest. A deer was observed within the forest during the field assessment conducted during November 2023 – a time when snow was sparse and thin. Other signs of deer use of winter habitat such as bark stripping, heavy woody plant browse, and the presence of dry winter deer scats were absent from the site during my November site visit.

In summary, the forest dominated by white pine lacked adequate forest structure for deer use in the winter months. However, in areas such as Stowe characterized by deep snow and cold temperatures white pine is not a preferred winter habitat by white-tailed deer. The parcels hilly terrain and close proximity to Mountain Road results in a noisy forest dominated by the sounds of cars, nearby traffic, and village life, including dogs. Deer also have very few places to hide during the leafless winter season and are vulnerable to disturbances both nearby and within the actual forest footprint. It is likely the forest habitat at this site is not much utilized as deer over-wintering habitat and therefore the proposed project is unlikely to have a negative impact upon this protected resource.

Other potential significant wildlife habitats include significant wetland wildlife habitats, vernal pools as amphibian habitat, and black bear habitat. Wetlands on the parcel are small, dominated by herbaceous vegetation, isolated, and mostly not associated with surface waters. Due to these factors, their value as wildlife habitat is limited. Red squirrels were observed within both wetlands and upland habitats within the parcel. A red fox track was also observed at the site during our field assessment. Both of these species are very likely to be present in post-construction conditions as these adaptable species prosper alongside humans. Fox are generalists and have no important habitats identified which might aid in the protection of the viability of the species. Trees will continue to persist in post-construction conditions at the site and red squirrels will continue to live and flourish at the site. The site contains no vernal pools. There were no bear-scarred beech trees, or any other black bear habitat identified at this site. The Vermont Department of Fish and Wildlife has identified no other important wildlife habitats at the site other than as a deer wintering area. The mapping process used in producing these wintering habitats is meant to be verified by on the

ground field assessments of their viability. In this case -the site contains only marginal white-tailed deer wintering habitat.

Rare, Threatened and Endangered Species and Significant Natural Communities

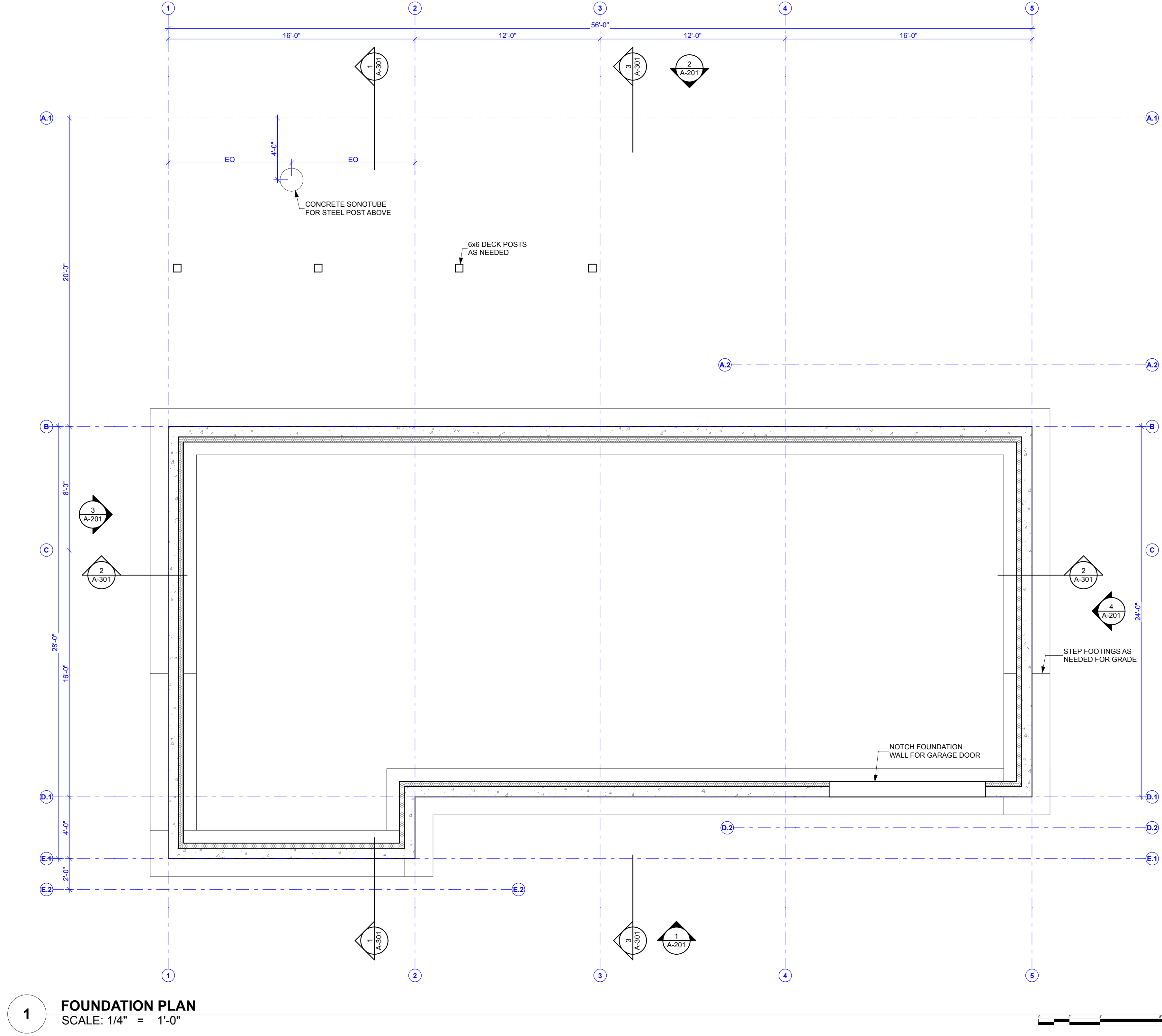
As stated in the Introduction, the forest communities are dominated by early successional hardwood tree species such as red maple, quacking aspen, black cherry, young sugar maple as well as the coniferous white pine tree. The site also has larger white pine and the occasional larger red oak. The forest community is in a state of transformation with the current mix of species all competing for eventual dominance. Significant natural communities dominated by white pine only occur in Vermont in very specific locations with specific conditions such as the presence of extremely dry or droughty conditions or very specific soil types and topographic setting- none of which are present at this site. While long-lasting white pine can be found - at sites such as this pine are generally successional and transitory and will be over-taken by more competitive species such as sugar maple or Eastern hemlock. As such the forest currently found at this site is not formally recognized within Vermont's natural community classification as outlined in the book *Wetland, Woodland, and Wildland: A Guide to the Natural Communities of Vermont* (E. Thompson, E. Sorenson, and R. Zaino. 2019).

The Vermont Natural Heritage Program has listed no significant natural communities on this parcel and field observations substantiate this lack of significant natural communities. This Project will have no negative impacts upon significant natural communities.

There were no rare, threatened, or endangered species identified on the parcel. In addition, the site lacks the types of habitats and /or site conditions that can lead to the presence of these these uncommon species. Forest and wetland types were common and therefore unlikely to contain rare, threatened, or endangered species. The Vermont Natural Heritage Program which tracks Vermont's uncommon species has identified no rare, threatened or endangered state or federal plant or animal species within or adjacent to this parcel.

Conclusions

The site contains no significant wildlife habitats including deer wintering habitats. Field work combined with published data revealed an absence of rare, threatened or endangered species or significant natural communities.



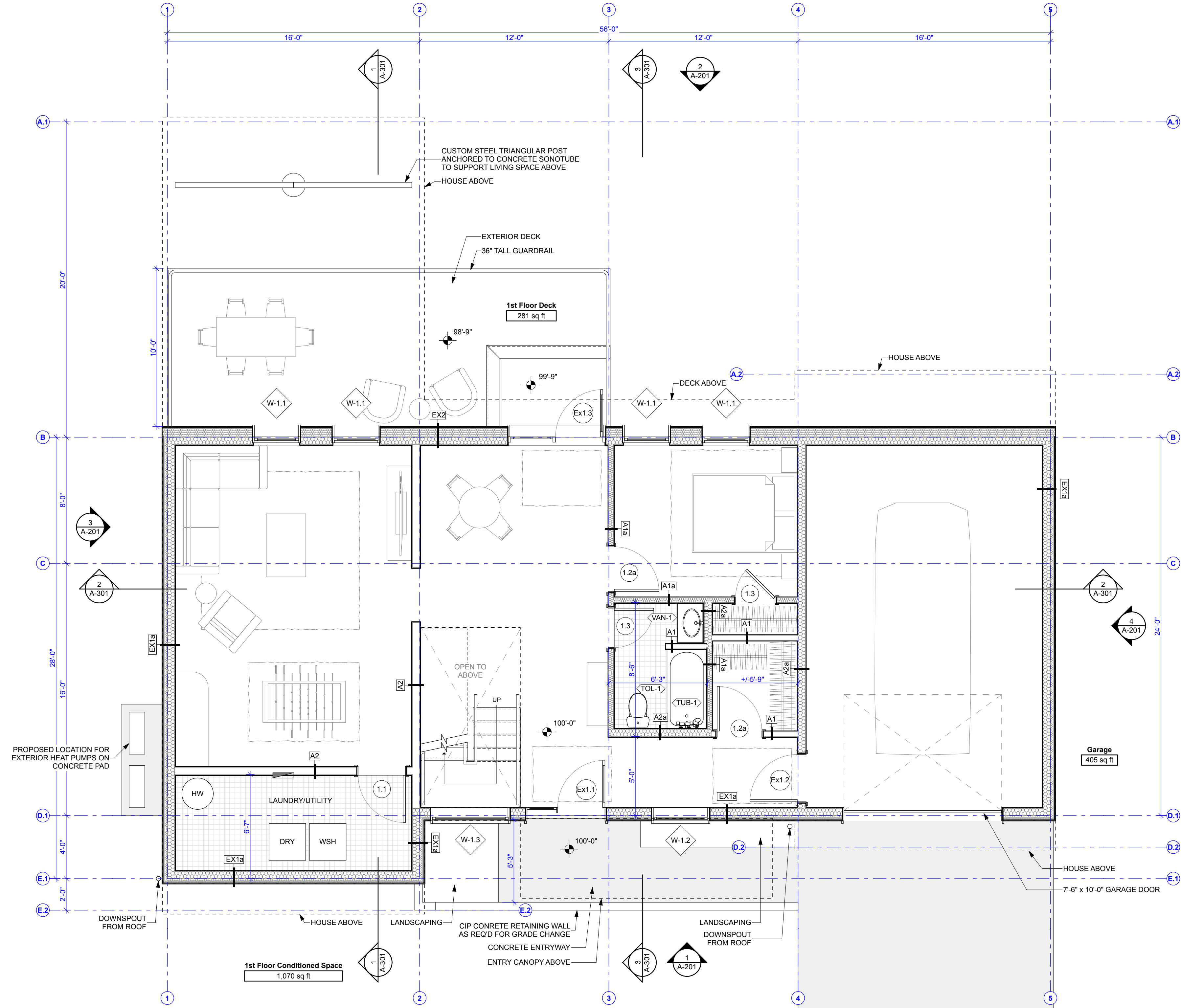
1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



- FLOOR PLAN GENERAL NOTES**
- These Drawings constitute a Schematic Design set to be used to develop a Schematic Estimate. Additional information, dimensions and specifications will be provided by the Architect and/or Owner as requested for clarification.
 - Modular Construction:** The design has been organized to take advantage of potential modular construction at the 2nd floor. The intent is for (3) individual boxes to be constructed off site and delivered, while the foundation and 1st floor is a combination of cast-in-place concrete and stick-built construction.
 - Dimensions:** All dimensions to new walls are from stud-to-stud.
 - Mechanical:** Primary heating and cooling to be performed by ductless wall mounted heat pumps, with exterior units be placed at a concealed location next to the home. Whole house ERV to be provided for fresh air requirements.
 - Electric:** Homes are to be equipped with 200A service with the panel located in the 1st Floor utility room.
 - Plumbing:** Electric hot water tank to be located in 1st Floor utility room. At this time, no sprinkler system is assumed to be required.
 - FA Devices:** Smoke & CO detection is to be provided by the Contractor. Contractor to confirm quantities.
 - SD Basis of Design Specifications:** Refer to base specifications on A-10x sheets for basis of design regarding windows, doors, exterior & interior finishes, etc.
 - Doors & Windows:** Refer to sheet A-601 for additional information regarding sizes, operations, finishes, etc of all doors and windows.
 - Floor & Wall Assemblies:** Refer to sheet A-602 for additional information regarding typical framing assemblies.

GROSS SQUARE FOOTAGE	
Space	Measured Area
1st Floor Deck	281
2nd Floor Deck	227
Garage	405
1st Floor Conditioned Space	1,070
2nd Floor Conditioned Space	1,743
	3,726 ft ²

ISSUE NUMBER	DATE	DESCRIPTION
1	8/15/24 <td>ISSUE SET</td>	ISSUE SET
2		
3		
4		



2 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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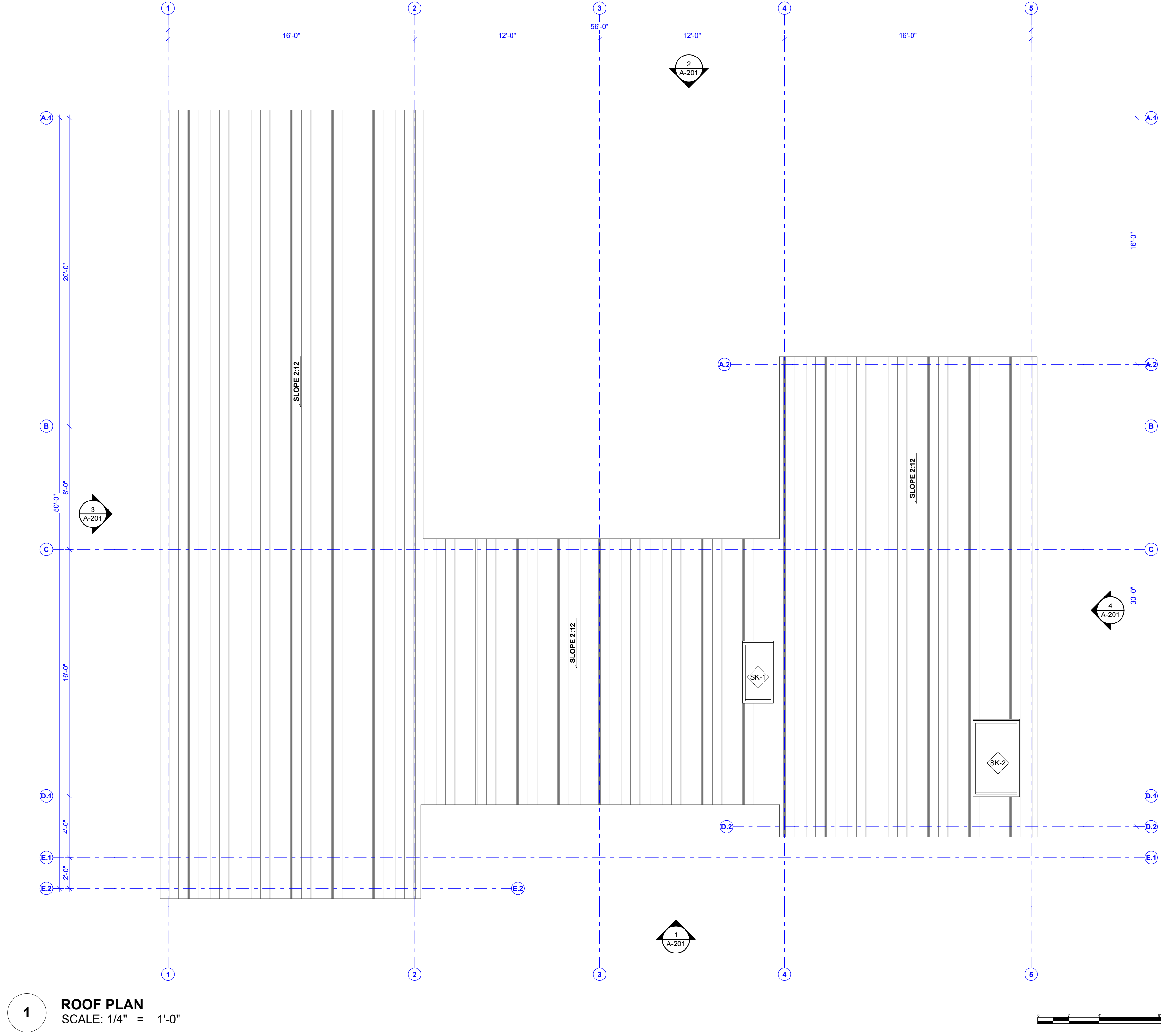
PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE NUMBER	DATE	DESCRIPTION
1	8/15/24	ISSUE SET
2	8/28/24	ISSUE SET
3		ISSUE SET
4		ISSUE SET

WIS PROJECT LEAD:
Jason Jirle
DATE OF ISSUE:
8/15/24
PROJECT STATUS:
Schematic Design

CONSULTANT:
Churchill James LLC

CONTRACTOR:



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

- FLOOR PLAN GENERAL NOTES**
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	3,726 ft²

WOODHULL
 PORTLAND, ME 04101
 woodhullme.com

110 EXCHANGE ST
 207 263 8777

PRELIMINARY
 NOT FOR CONSTRUCTION

ISSUE NUMBER	DATE	DESCRIPTION
1	8/15/24	ISSUE FOR PERMIT SET
2		
3		

ISSUE NUMBER	DATE	DESCRIPTION
1	8/28/24	ISSUE FOR PERMIT SET
2		
3		

WIS PROJECT LEAD: Jason Jirle
 DATE OF ISSUE: 8/15/24
 PROJECT STATUS: Schematic Design

CONSULTANT:
 Eagle Ridge Road Housing Development
 Eagle Ridge Road Stowe VT 05672
 Churchill James LLC

A-103
 ROOF PLAN

L-01 FIXTURE BASIS OF DESIGN

Ocularc 3-Inch LED Round Open Reflector Trim
By WAC Lighting



Ocularc 3-Inch LED Round Open Reflector Trim
By WAC Lighting

Product Options

Finish: Black,
Material: Die-cast Aluminum,
Color Temperature: 2700K,
Beam Spread: Flood

Details

Single spot light source
35 degree visual cutoff
Shallow housing under 4" depth
Cutoff: 4 1/4"
Size: 3.5 inches
Dimmer Range: 100-5%

Dimensions

Cut-out: Diameter 4.25"
Fixture: Height 4", Diameter 4.75", Weight 1.12Lbs
2700K

Lamp Type	LED Built-in
Total Lumens	900
Total Watts	11.00
Volts	120
Color Temp	2700 (Warm)
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Additional Details

Product URL:
<https://www.lumens.com/ocularc-3-inch-led-round-open-reflector-trim-by-wac-lighting-WAC2432410.html>
Rating: ETL Listed Wet

ITEM#: WAC2432410

Created August 8th, 2024



Notes:

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:

L-02 FIXTURE BASIS OF DESIGN

Cylinder LED Outdoor Wall Sconce
By WAC Lighting



Cylinder LED Outdoor Wall Sconce
By WAC Lighting

Product Options

Finish: Black,
Size: Medium

Details

Small size produces light in one direction, Medium size produces light in up & down directions
Dimmer Range: 100-5%

Dimensions

Medium Option Backplate: Width 4.25", Height 4.25"
Medium Option Fixture: Width 4.5", Height 9.5", Depth 6"

Medium

Lamp Type	LED Built-in
Total Lumens	644
Total Watts	18.00
Volts	120
Color Temp	3000 (Soft White)
Average Lifespan (Hours)	50,000
CRI	80
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Additional Details

Product URL:
<https://www.lumens.com/cylinder-led-outdoor-wall-sconce-by-wac-lighting-WAC2000806.html>
Rating: ETL Listed Wet

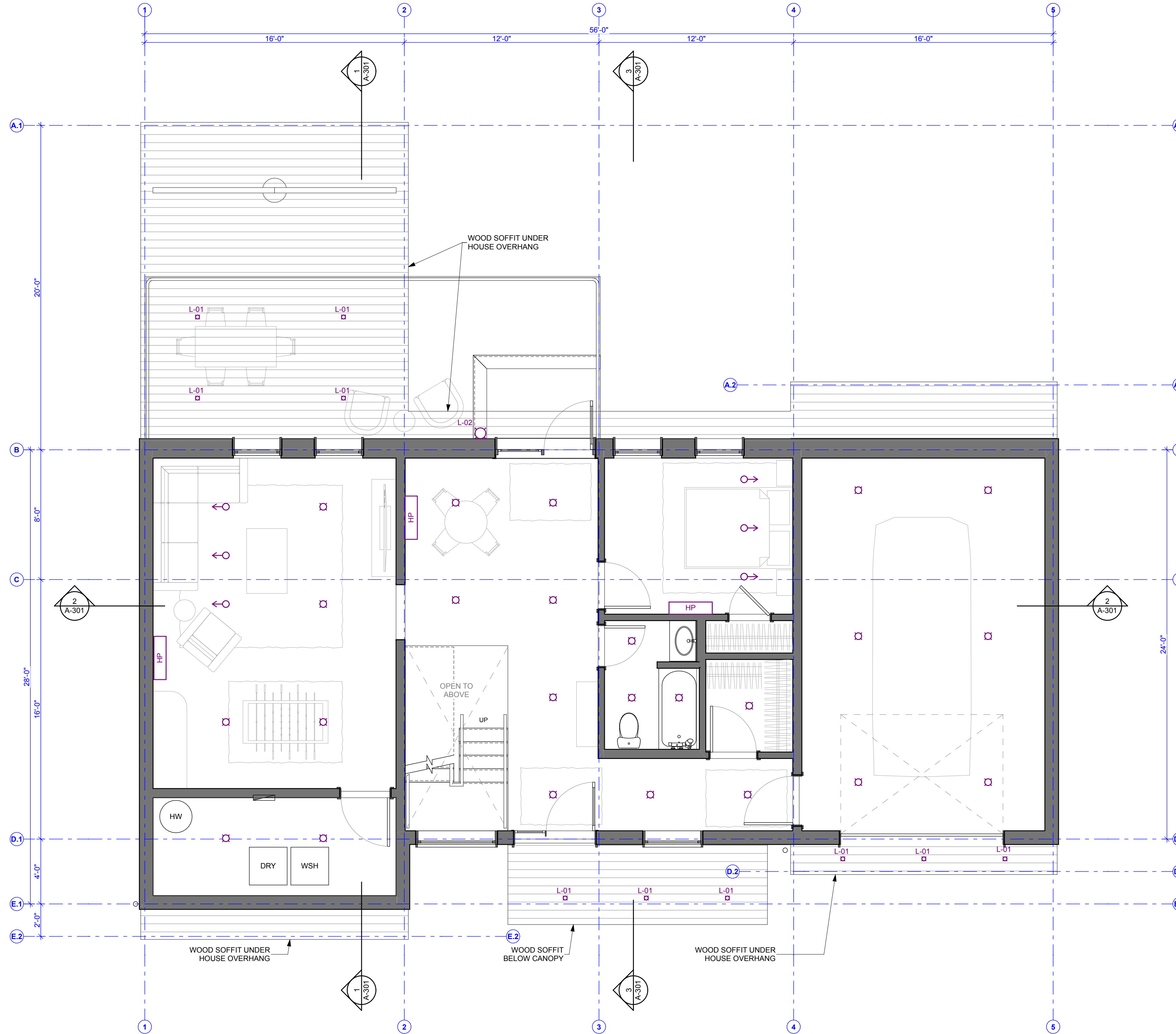
ITEM#: WAC2000806

Created August 8th, 2024

Notes:

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:



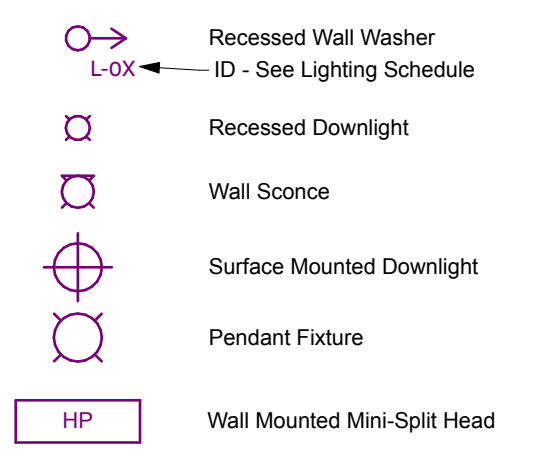
1 1ST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN GENERAL NOTES

- Mechanical: Refer to Drawings for suggested wall mounted mini-split locations. Whole house ERV system to be provided and coordinated at a later date.
- Ceilings: All ceilings are to be painted drywall.
- Lighting: Lighting selections forthcoming. All fixtures to be LED and dimmable UNO.
- Access Panels: All access panels through drywall to be Bauco Plus II mud-in type unless otherwise noted.

REFLECTED CEILING PLAN LEGEND

- Light Fixture schedule forthcoming
- Electrician to order all required accessories and elements for installation and adjustments/aiming.

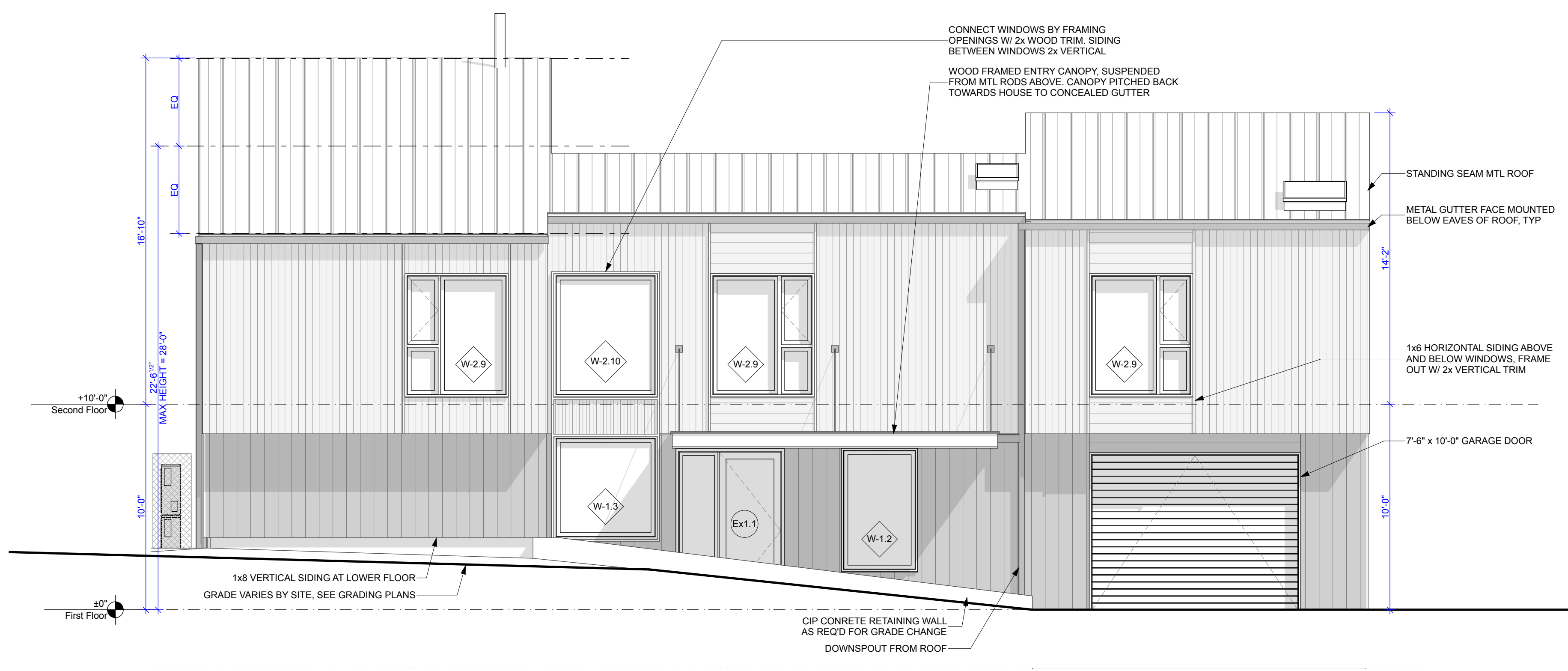


ISSUE NUMBER	DATE	DESCRIPTION
1	8/15/24	SCHEMATIC DESIGN

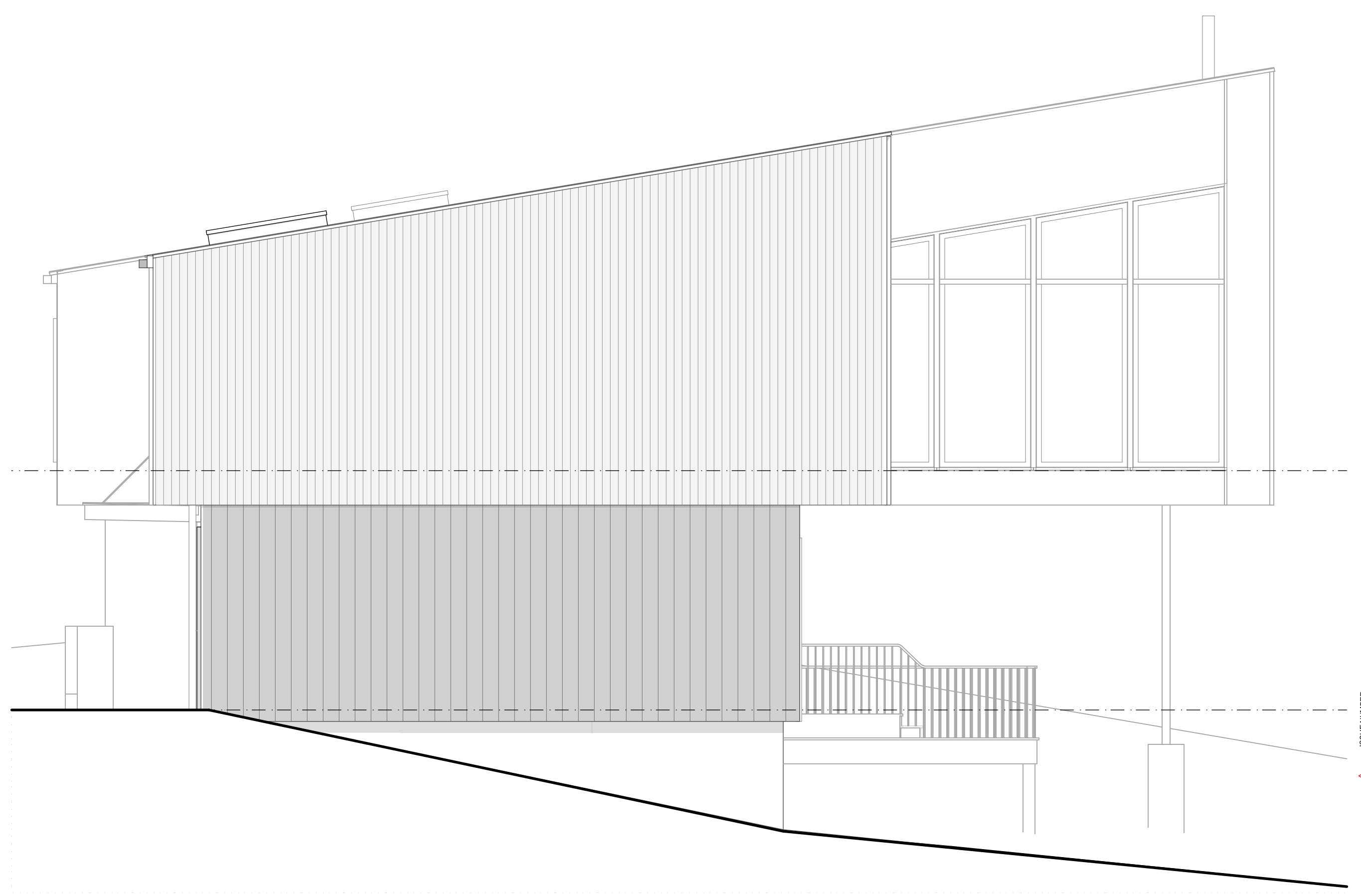
ISSUE NUMBER	DATE	DESCRIPTION
1	8/15/24	SCHEMATIC DESIGN

WIS PROJECT LEAD:	DATE OF ISSUE:	PROJECT STATUS:
Jason Jirale	8/15/24	Schematic Design

B:\bimcloud\basic for Archicad 27\Commercial\24-C-006_Stowe Vermont Development



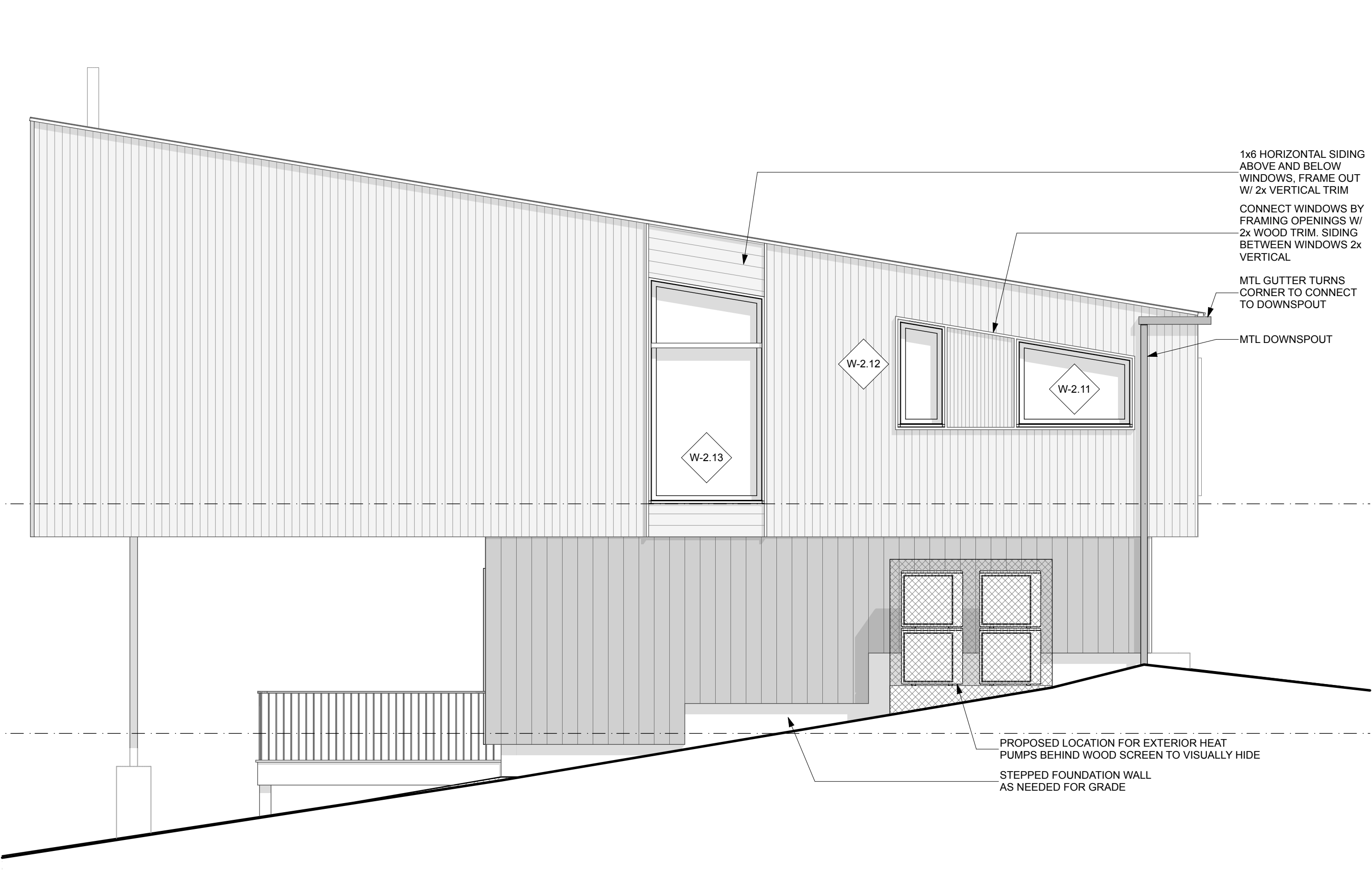
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



2 BACK ELEVATION
SCALE: 1/4" = 1'-0"



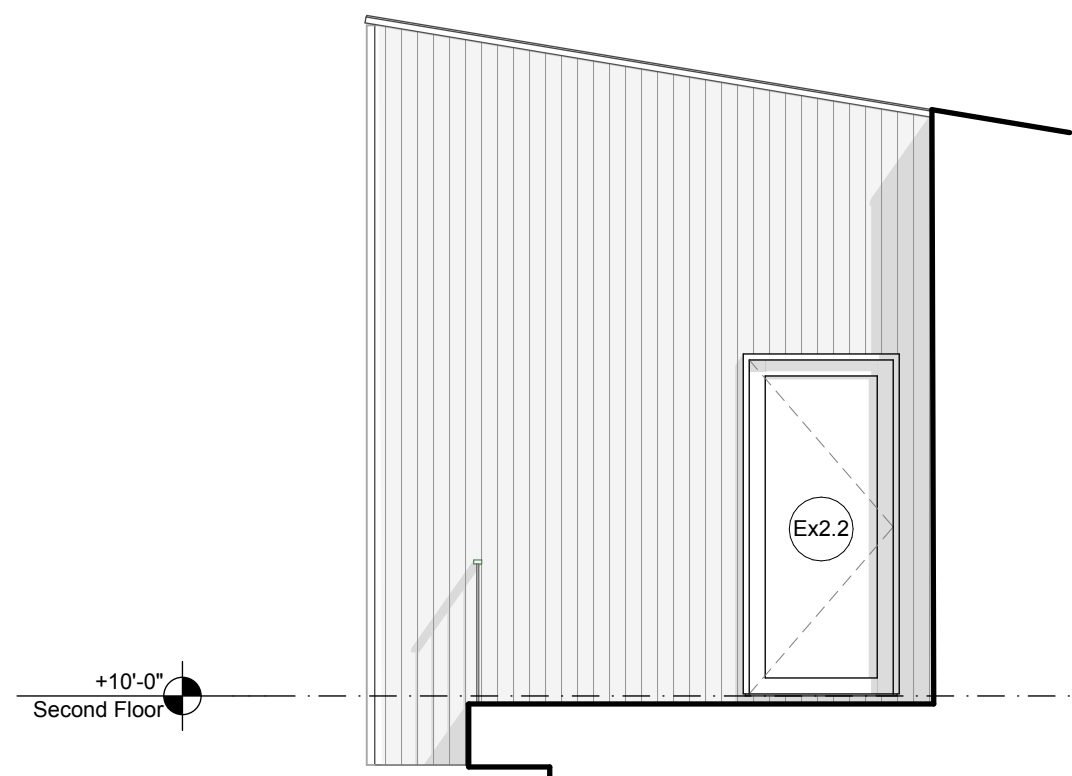
3 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

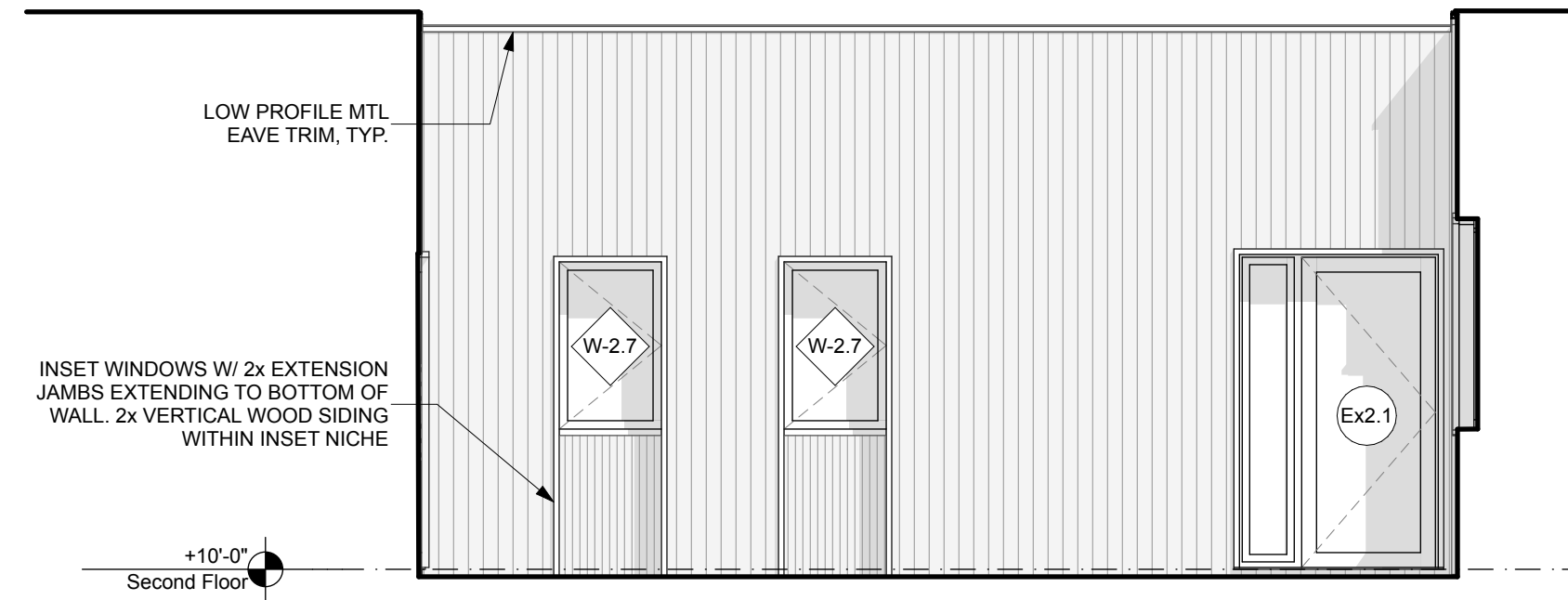
ISSUE NUMBER	DATE	DESCRIPTION
01	02/20/24	ISSUE FOR PERMIT SET

ISSUE NUMBER	DATE	DESCRIPTION
01	02/20/24	ISSUE FOR PERMIT SET

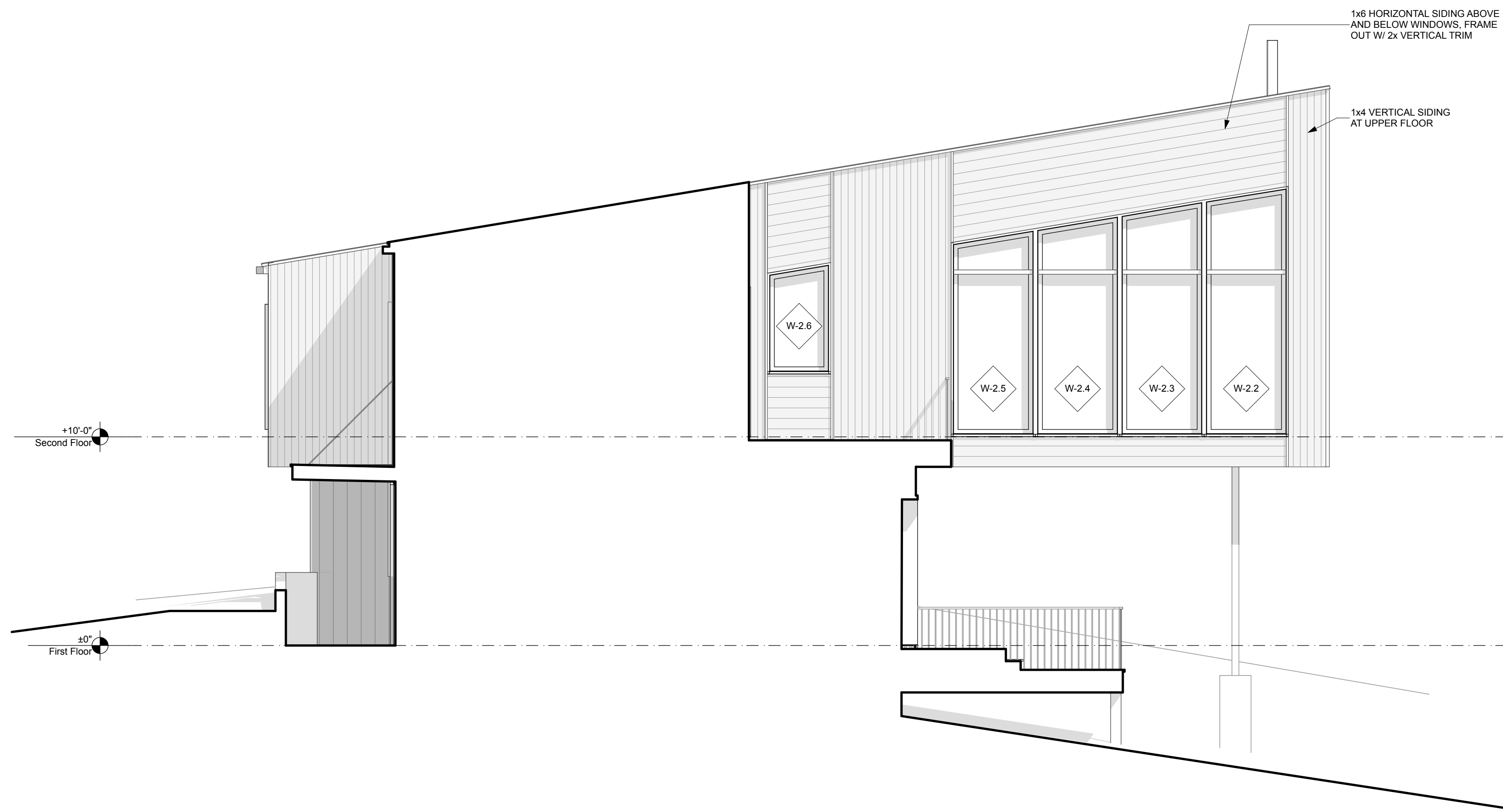
WIS PROJECT LEAD:
Jason Jelle
DATE OF ISSUE:
8/15/24
PROJECT STATUS:
Schematic Design



3 PRIMARY SUITE LEFT ELEVATION
SCALE: 1/4" = 1'-0"



1 BACK DECK ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT LIVING SPACE ELEVATION
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE						
ID	QTY	Type	Window Size		Sill Height	Notes
			Width	Height		
W-1.1	4	Casement	3'-0"	5'-0"	2'-2"	
W-1.2	1	Fixed	3'-8"	6'-0"	1'-10"	
W-1.3	1	Fixed	5'-0"	5'-0"	3'-5"	
W-2.1	1	Multi	8'-0"	12'-0"	0'-0"	
W-2.2	1	Fixed w/ Transom	4'-0"	11'-11 ^{3/4} "	0'-0"	
W-2.3	1	Fixed w/ Transom	4'-0"	11'-4"	0'-0"	
W-2.4	1	Fixed w/ Transom	4'-0"	10'-7 ^{3/4} "	0'-0"	
W-2.5	1	Fixed w/ Transom	4'-0"	9'-11 ^{1/2} "	0'-0"	
W-2.6	1	Fixed	3'-0"	5'-4"	3'-0"	
W-2.7	2	Casement	2'-6"	4'-0"	3'-0"	
W-2.8	1	Multi	6'-0"	10'-0"	0'-0"	
W-2.9	3	Multi	5'-0"	6'-0"	0'-4"	
W-2.10	1	Fixed	5'-0"	6'-0"	0'-4"	
W-2.11	1	Fixed	5'-0"	3'-10"	3'-4"	
W-2.12	1	Fixed	2'-0"	4'-8 ^{1/4} "	3'-4"	
W-2.13	1	Fixed w/ Transom	5'-0"	9'-10"	0'-0"	

Skylight Schedule			
ID	Window Size		Notes
	Width	Length	
SK-1	2'-0"	4'-0"	
SK-2	3'-0"	5'-0"	

WINDOW TYPES																
Element ID	W-1.1	W-1.2	W-1.3	W-2.1	W-2.2	W-2.3	W-2.4	W-2.5	W-2.6	W-2.7	W-2.8	W-2.9	W-2.10	W-2.11	W-2.12	W-2.13
Elevation View (Nominal Dimensions)																
Quantity	4	1	1	1	1	1	1	1	1	2	1	3	1	1	1	1
Window Type	Casement	Fixed	Fixed	Multi	Fixed w/ Transom	Fixed w/ Transom	Fixed w/ Transom	Fixed w/ Transom	Fixed	Casement	Multi	Multi	Fixed	Fixed	Fixed	Fixed w/ Transom

DOOR SCHEDULE										
ID	QTY	OPERATION	LEAF DIMENSIONS	GLAZING	DOOR LEAF MAT.	DOOR LEAF FINISH	DOOR FRAME MAT.	DOOR FRAME FINISH	HARDWARE	NOTES
1.1	1	Swing	3'-0" x 7'-0"		WOOD	PNT	WD	PNT		
1.2a	5	Swing	2'-10" x 7'-0"		WOOD	PNT	WD	PNT		
1.2b	2	Sliding Pocket	2'-10" x 7'-0"		WOOD	PNT	WD	PNT		
1.3	4	Swing	2'-6" x 7'-0"		WOOD	PNT	WD	PNT		
1.3b	1	Swing	2'-6" x 7'-0"	Y, 1/2	WOOD	PNT	WD	PNT		
Ex1.1	1	Swing	3'-0" x 7'-8"	Y + SIDELITE	ALUM CLAD		ALUM CLAD			
Ex1.2	1	Swing	3'-0" x 7'-0"		WOOD	PNT	WD	PNT		
Ex1.3	1	Swing	3'-0" x 7'-0"	Y + SIDELITE	ALUM CLAD		ALUM CLAD			
Ex2.1	1	Swing	3'-0" x 7'-0"	Y + SIDELITE	ALUM CLAD		ALUM CLAD			
Ex2.2	1	Swing	3'-0" x 7'-0"	Y	ALUM CLAD		ALUM CLAD			

DOOR TYPES										
Element ID	1.1	1.2a	1.2b	1.3	1.3b	Ex1.1	Ex1.2	Ex1.3	Ex2.1	Ex2.2
Elevation View (Nominal Dimensions)										
Quantity	1	5	2	4	1	1	1	1	1	1

PLUMBING SCHEDULE						
ID	QTY	DESCRIPTION	MANUFACTURER	MODEL	FINISH	NOTES
KSNK-1	1	Kitchen Sink & Faucet	TBD			
SHW-1	1	Guest Shower	TBD			
SHW-2	1	Primary Suite Shower	TBD			
TOL-1	4	Toilet	TBD			
TUB-1	1	1st Floor Tub/Shower	TBD			
VAN-1	1	Guest Bathroom, 30" Vanity	TBD			
VAN-2	1	Guest Bathroom, 36" Vanity	TBD			
VAN-3	2	Primary Suite, 36" Vanity	TBD			
VAN-4	1	Powder Room, 24" Vanity	TBD			
	13					



EXTERIOR RENDERING FROM DOWNHILL SLOPE



EXTERIOR RENDERING FROM DOWNHILL SLOPE (IN SITU)



SIDE OF HOUSE



FRONT APPROACH TO HOUSE

BIMcloud: bimservers2.local - BIMcloud Basic for Archicad 27/Commercial/24-C-006_Stowe Vermont Development

EXTERIOR RENDERINGS

A-900

Eagle Ridge Road Housing Development

Eagle Ridge Road Stowe VT 05672
Churchill James LLC

WIS PROJECT LEAD:
Jason Jiele
DATE OF ISSUE:
8/15/24
PROJECT STATUS:
Schematic Design

CONSULTANT:

SUBMISSIONS:

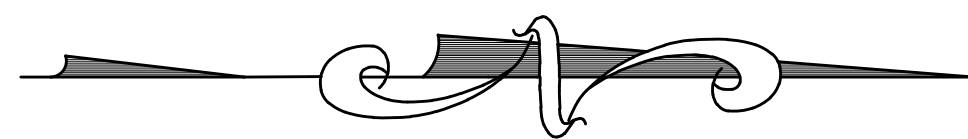
ISSUE	DATE	DESCRIPTION
01	6/28/24	3D PREVIEW SET

CHANGES THIS ISSUE:

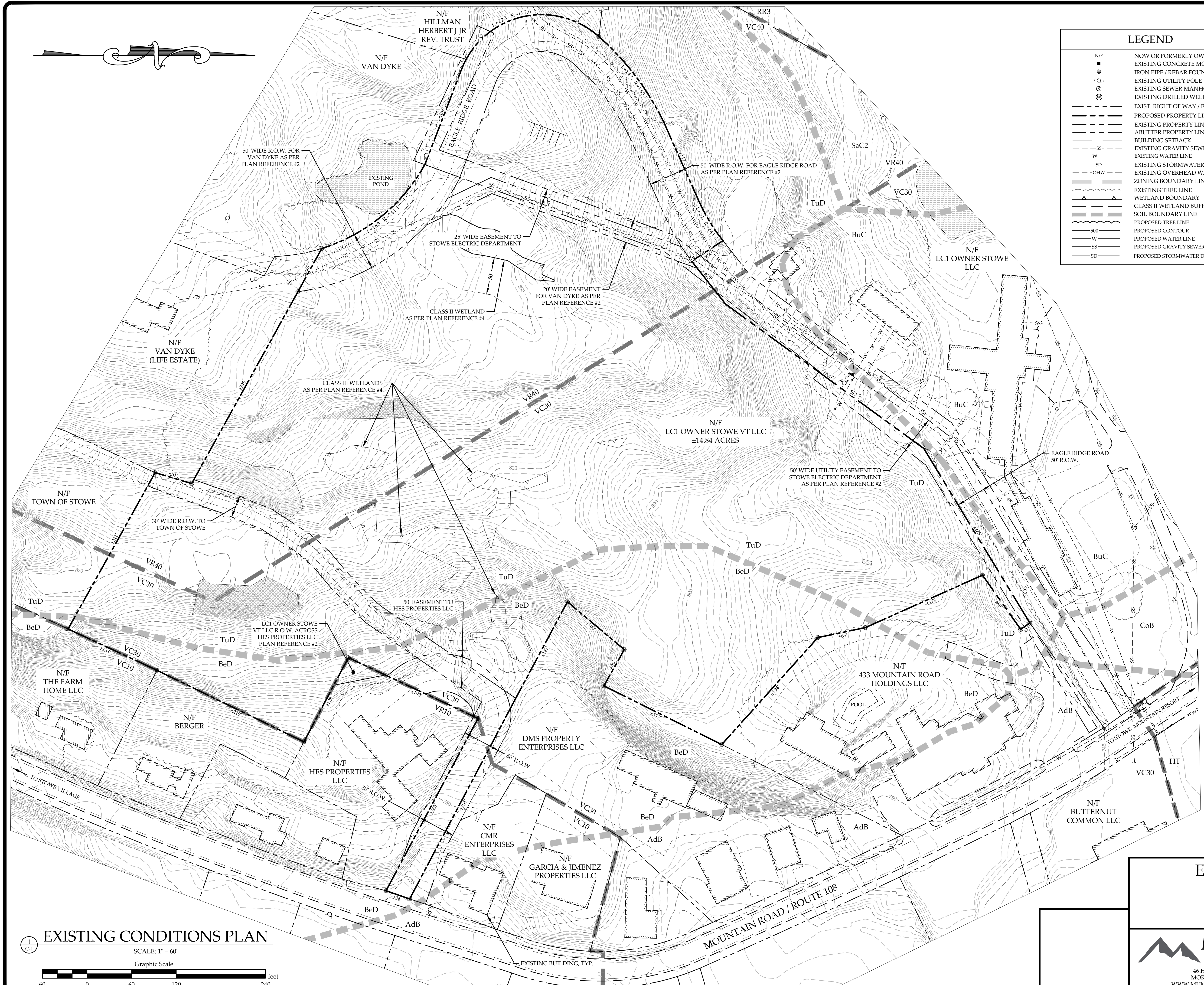
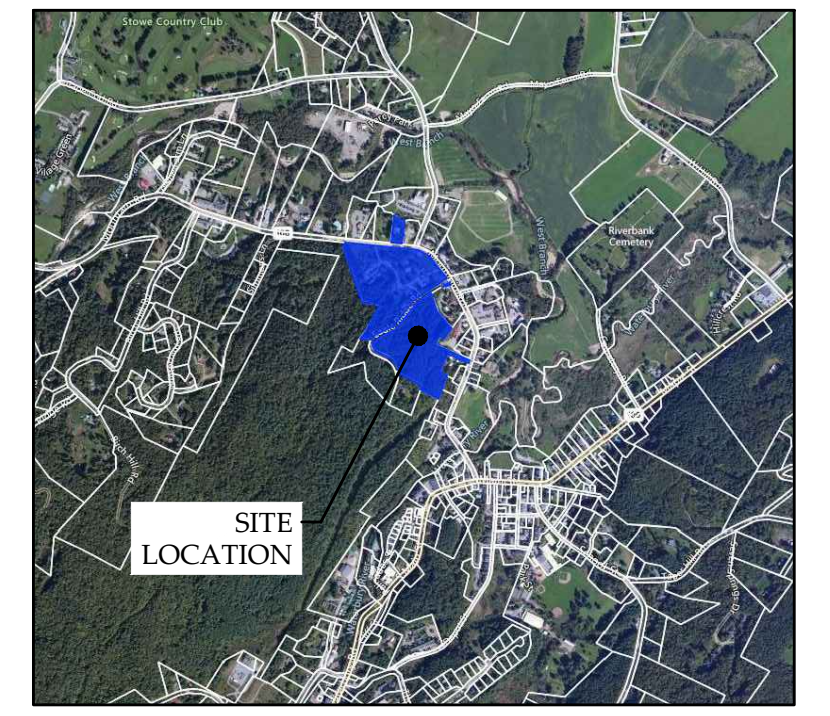
ISSUE NUMBER	ISSUE NAME	DESCRIPTION
01	01	

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WOODHULL
PORTLAND, ME 04101
110 EXCHANGE ST
207 283 8777
woodhullme.com



LEGEND	
N/F	NOW OR FORMERLY OWNED BY
●	EXISTING CONCRETE MONUMENT
○	IRON PIPE / REBAR FOUND
⊙	EXISTING UTILITY POLE
⊗	EXISTING SEWER MANHOLE
⊕	EXISTING DRILLED WELL
---	EXIST. RIGHT OF WAY / EASEMENT
---	PROPOSED PROPERTY LINE
---	EXISTING PROPERTY LINE
---	ADJUTER PROPERTY LINE
---	BUILDING SETBACK
---	EXISTING GRAVITY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING STORMWATER DRAIN
---	EXISTING OVERHEAD WIRES
---	ZONING BOUNDARY LINE
---	EXISTING TREE LINE
---	WETLAND BOUNDARY
---	CLASS II WETLAND BUFFER
---	SOIL BOUNDARY LINE
---	PROPOSED TREE LINE
---	PROPOSED CONTOUR
---	PROPOSED WATER LINE
---	PROPOSED GRAVITY SEWER LINE
---	PROPOSED STORMWATER DRAIN



- PLAN REFERENCES:**
- 1) TOPOGRAPHIC, PARCEL, ZONING BOUNDARIES AND ORTHOGRAPHIC INFORMATION TAKEN ELECTRONICALLY FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION ON 02-10-21.
 - 2) PARCEL & SITE INFORMATION TAKEN FROM PLANS 1-3 ENTITLED "ALTA / ACSM TITLE SURVEY FOR DINAND REAL ESTATE ASSOCIATES, LLC. AND CHICAGO TITLE INSURANCE COMPANY SURVEY OF GOLDEN EAGLE ASSOCIATES, LLP. LANDOWNER: GOLDEN EAGLE ASSOCIATES, LLP TO BE CONVEYED TO DINAND REAL ESTATE ASSOCIATES, LLC, 511 MOUNTAIN ROAD, STOWE, VT" DATED SEPTEMBER 2014, PREPARED BY GRENIER ENGINEERING, P.C.
 - 3) SITE INFORMATION PROVIDED ELECTRONICALLY FROM SURVEY BY GRENIER ENGINEERING PC ON 4-7-23 ENTITLED GOLDEN EAGLE SUBDIVISION SURVEY.
 - 4) WETLAND INFORMATION TAKEN FROM PLAN ENTITLED "GOLDEN EAGLE RESORT, NATURAL RESOURCES MAP" PREPARED AND DELINEATED BY VHB, L. KESZEY AND M. JACKMAN ON APRIL 28, 2021, APPROVED BY ANR ON OCTOBER 7, 2021.

- NOTES:**
- 1) THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCE #2 & 3. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
 - 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - 3) THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT.

LIST OF DRAWINGS

- C-1 EXISTING CONDITIONS PLAN
- C-2 PROPOSED SITE PLAN
- C-3 PARTIAL SITE PLAN
- C-4 PARTIAL SITE PLAN
- C-5 PARTIAL SITE PLAN
- C-6 ROAD 'A' PLAN & PROFILE
- C-7 ROAD 'B' PLAN & PROFILE
- C-8 EROSION CONTROL PLAN
- C-9 DETAILS
- C-10 DETAILS

EXISTING CONDITIONS PLAN

SCALE: 1" = 60'

Graphic Scale



**EXISTING CONDITIONS PLAN
LC1 OWNER STOWE VT LLC
EAGLE RIDGE ROAD
STOWE, VERMONT**

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ENGINEERING, INC.
46 HUTCHINS STREET
MORRISVILLE, VT 05661
WWW.MUMLEYENGINEERING.COM
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PROJECT NO.23005
DRAWN BYWEH
CHECKED BYTRM
SCALE1" = 60'
DATE08/28/24

SHEET NO.
C-1
1 OF 10 SHEETS

PURPOSE OF PLAN:

PROPOSED 24-UNIT PLANNED
RESIDENTIAL DEVELOPMENT

OWNER OF RECORD:
LCI OWNER STOWE VT LLC
511 MOUNTAIN ROAD
STOWE, VT

ZONING NOTES:

DISTRICT: VR40

MINIMUM LOT SIZE: 30,000 SF

MINIMUM LOT WIDTH: 125 FT

SETBACKS:
FRONT = 10 FT
REAR = 20 FT
SIDE = 20 FT

DISTRICT: VC40

MINIMUM LOT SIZE: 40,000 SF

MINIMUM LOT WIDTH: 150 FT = 15%

MAXIMUM BUILDING COVERAGE = 30%

SETBACKS:
FRONT = 30 FT
REAR = 50 FT
SIDE = 25 FT

BUILDING COVERAGE CALCULATIONS:

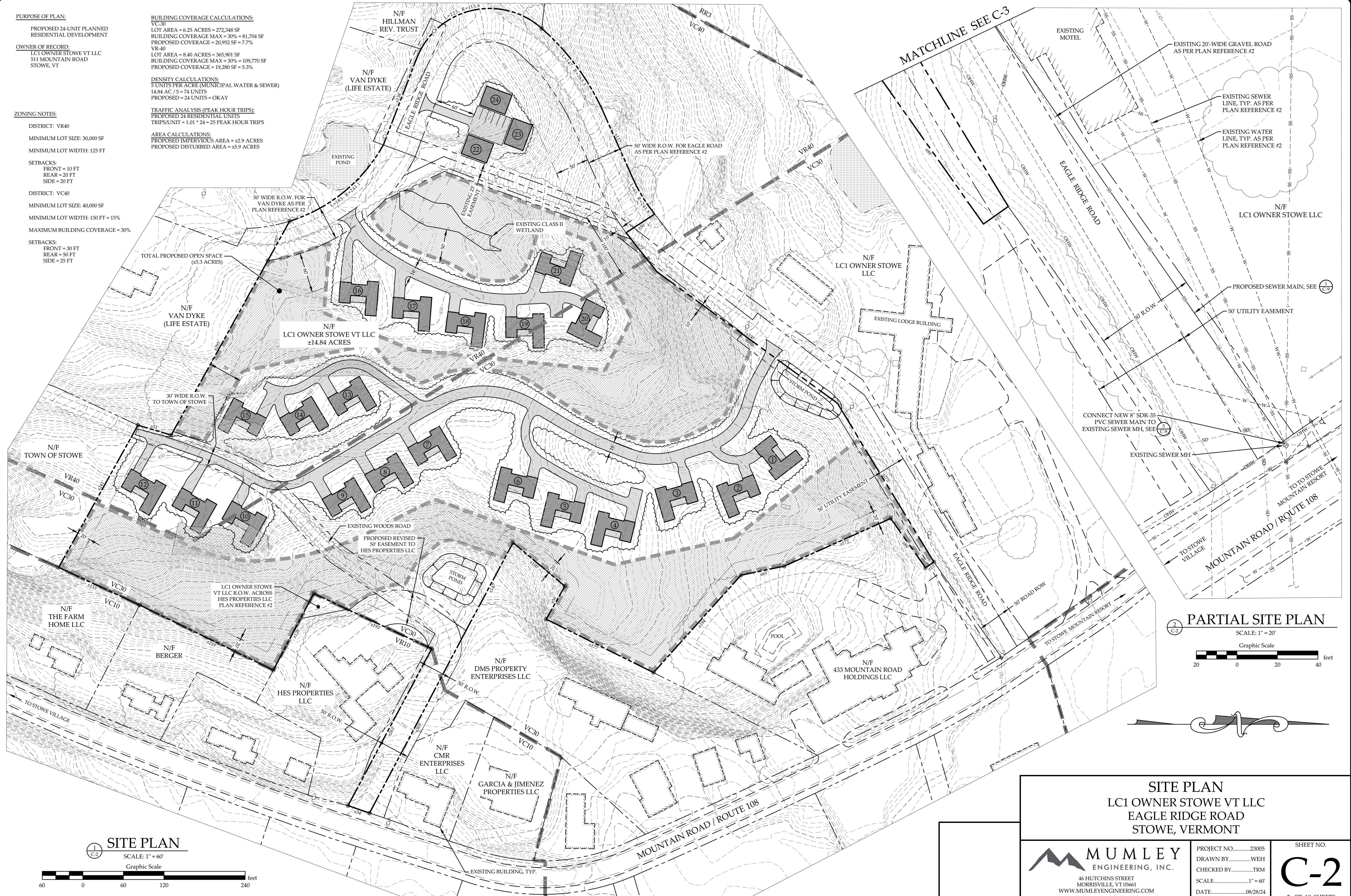
VC30
LOT AREA = 6.25 ACRES = 272,348 SF
BUILDING COVERAGE MAX = 30% = 81,704 SF
PROPOSED COVERAGE = 20,952 SF = 7.7%
VR40
LOT AREA = 8.40 ACRES = 365,901 SF
BUILDING COVERAGE MAX = 30% = 109,770 SF
PROPOSED COVERAGE = 19,280 SF = 5.3%

DENSITY CALCULATIONS:
5 UNITS PER ACRE (MUNICIPAL WATER & SEWER)
14.84 AC / 5 = 74 UNITS
PROPOSED = 24 UNITS = OKAY

TRAFFIC ANALYSIS (PEAK HOUR TRIPS):
PROPOSED 24 RESIDENTIAL UNITS
TRIPS/UNIT = 1.01 * 24 = 25 PEAK HOUR TRIPS

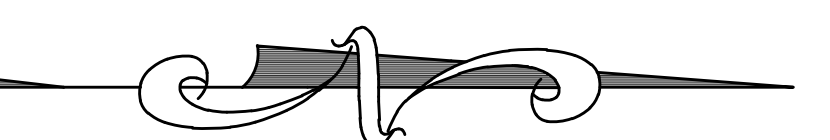
AREA CALCULATIONS:
PROPOSED IMPERVIOUS AREA = ±2.9 ACRES
PROPOSED DISTURBED AREA = ±5.9 ACRES

TOTAL PROPOSED OPEN SPACE
(±5.3 ACRES)



PARTIAL SITE PLAN

SCALE: 1" = 20'
Graphic Scale
20 0 20 40 feet

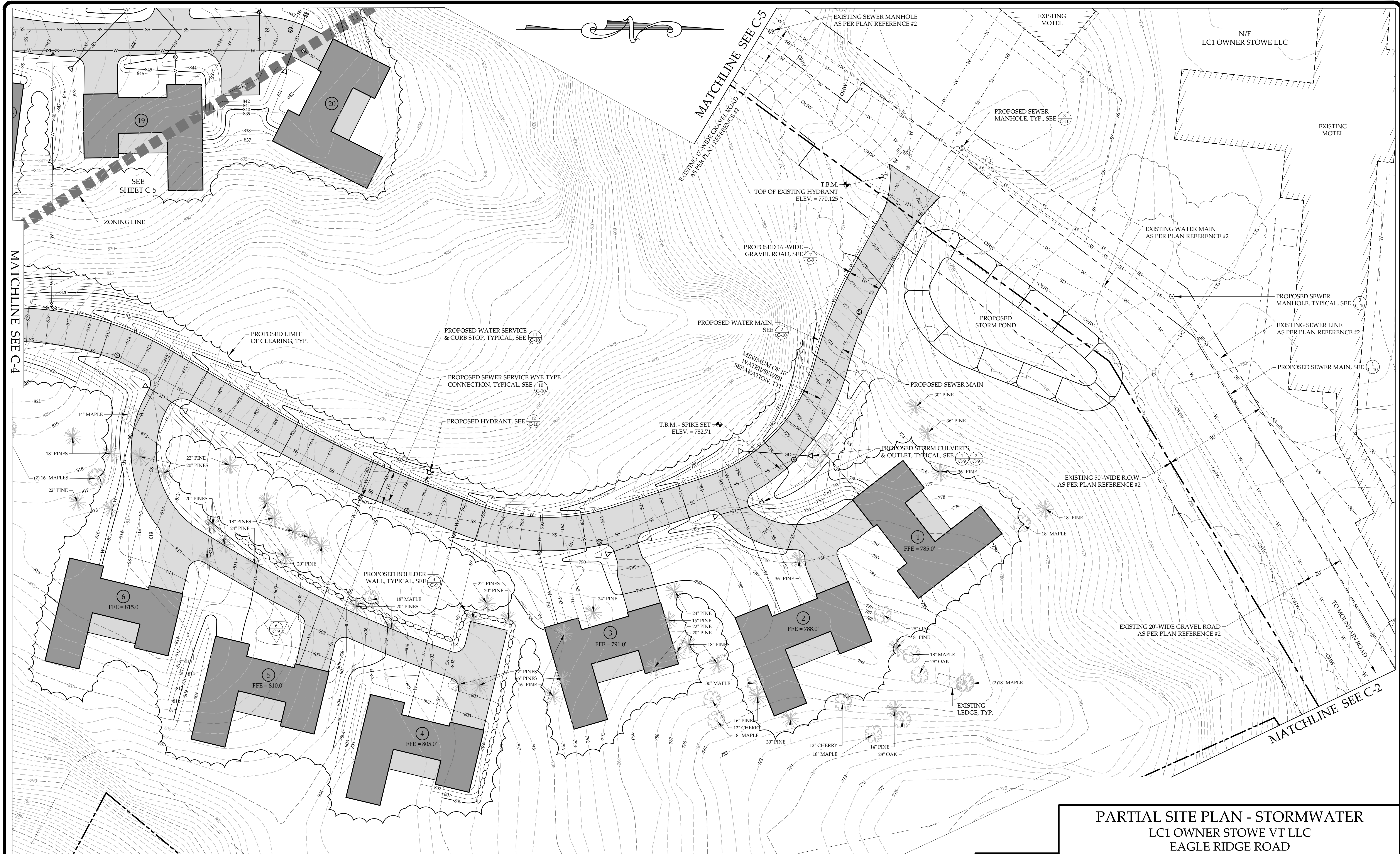


SITE PLAN

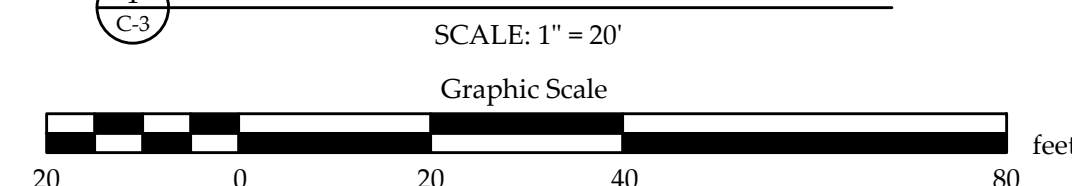
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Graphic Scale

60 0 60 120 240 feet

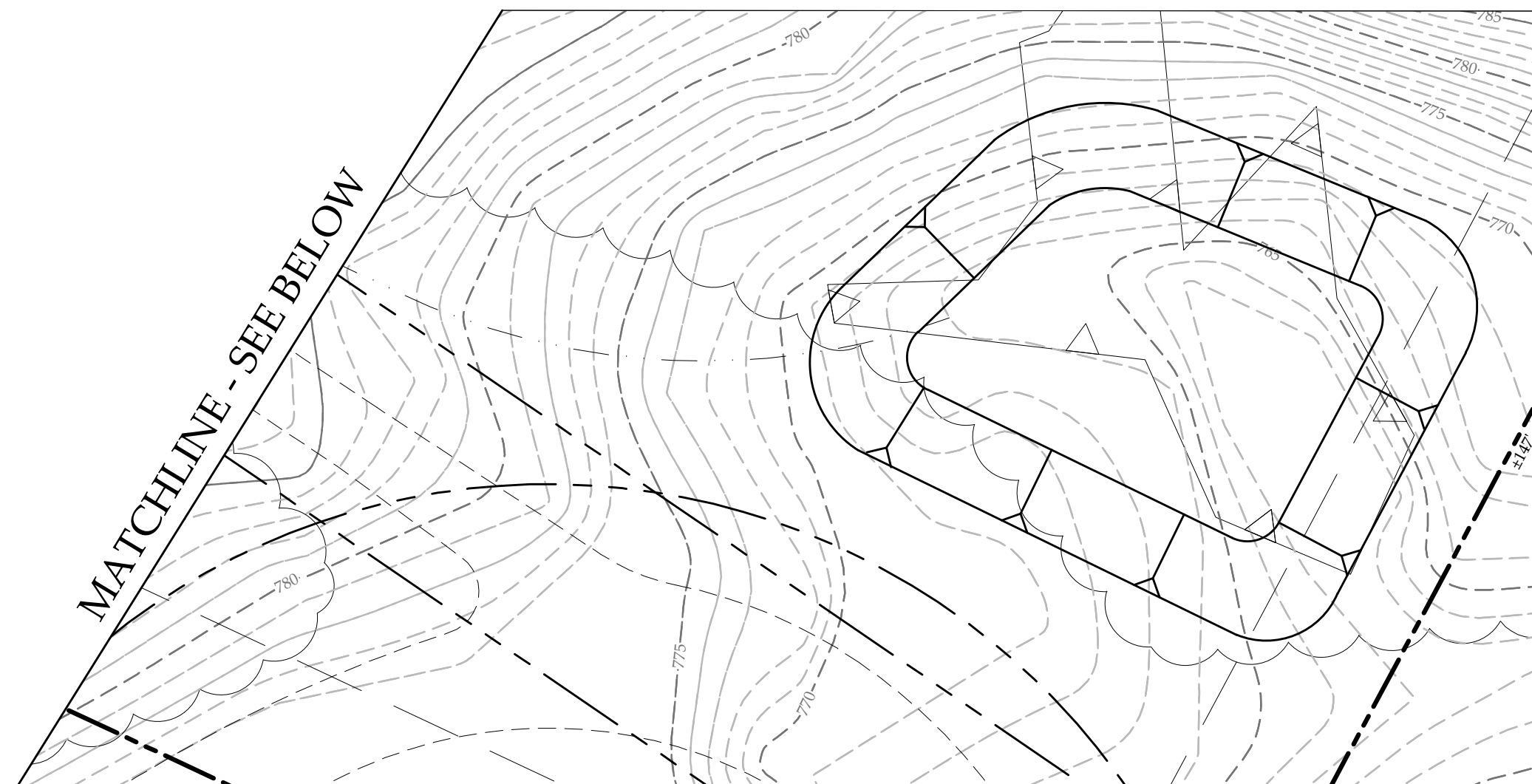
SITE PLAN LCI OWNER STOWE VT LLC EAGLE RIDGE ROAD STOWE, VERMONT		PROJECT NO.23005 DRAWN BY.WEH CHECKED BY.TRM SCALE.1" = 60' DATE.08/28/24	SHEET NO. C-2 2 OF 10 SHEETS
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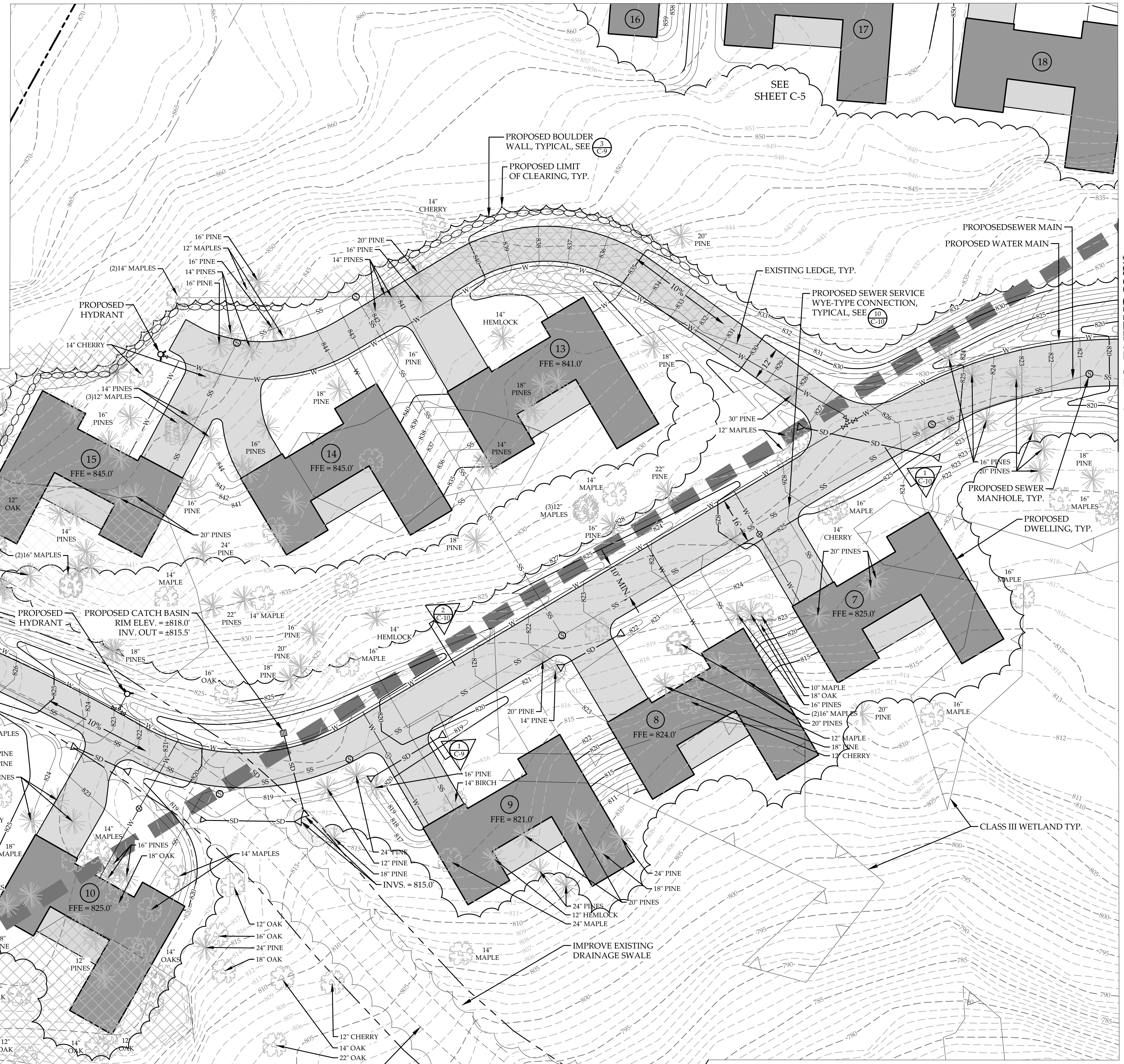
PARTIAL SITE PLAN



PARTIAL SITE PLAN - STORMWATER LC1 OWNER STOWE VT LLC EAGLE RIDGE ROAD STOWE, VERMONT		
 MUMLEY ENGINEERING, INC. <small>46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2024 - MUMLEY ENGINEERING, INC.</small>	PROJECT NO.....23005	SHEET NO.
	DRAWN BY.....WEH	C-3
	CHECKED BY.....TRM	3 OF 10 SHEETS
	SCALE.....1" = 20'	
DATE.....08/28/24		



INSET
SCALE: 1" = 20'



MATCHLINE SEE C-3



PARTIAL SITE PLAN
SCALE: 1" = 20'
Graphic Scale

MATCHLINE SEE INSET

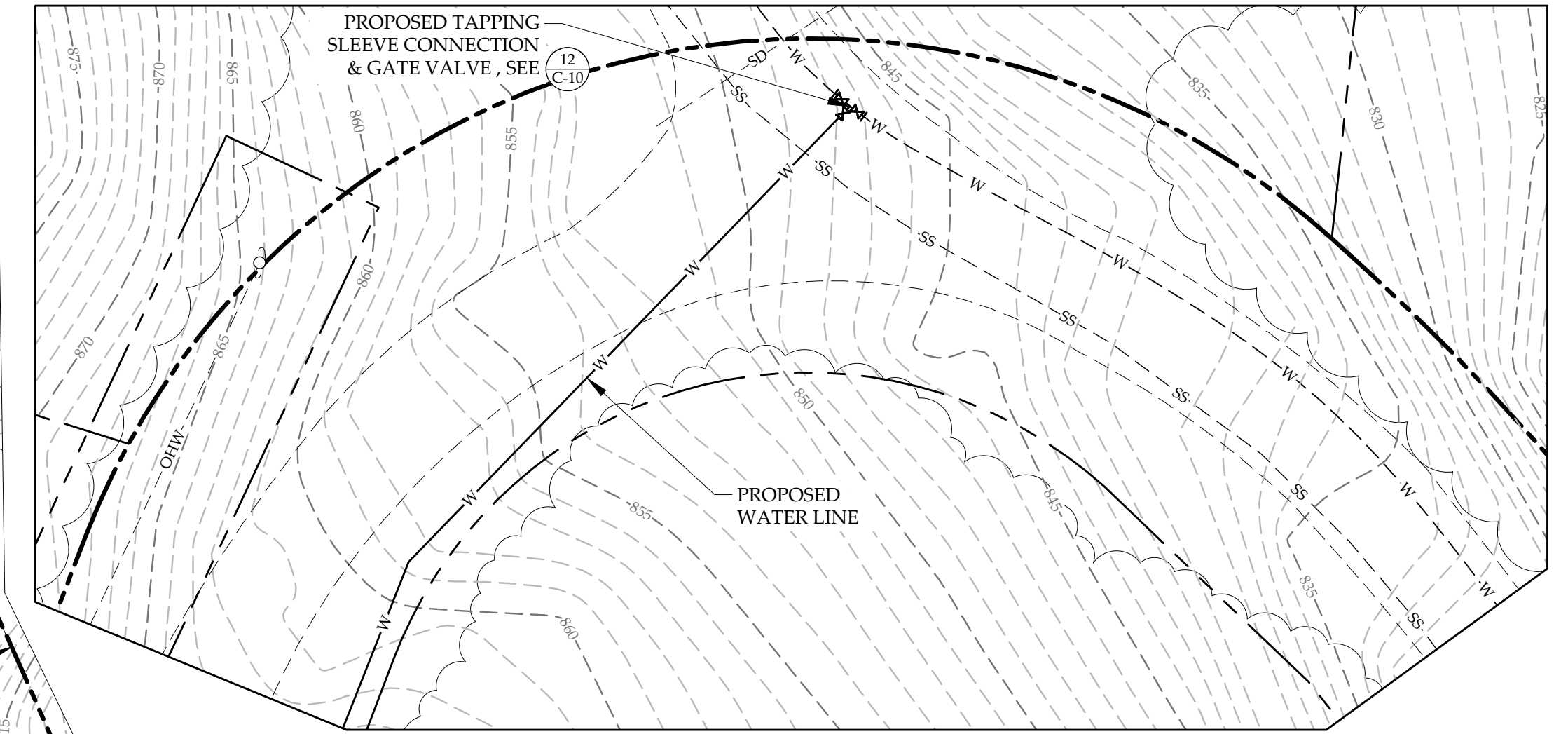
PARTIAL SITE PLAN LC1 OWNER STOWE VT LLC EAGLE RIDGE ROAD STOWE, VERMONT		
 MUMLEY ENGINEERING, INC. <small>46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2024 - MUMLEY ENGINEERING, INC.</small>	PROJECT NO.23005 DRAWN BYWEH CHECKED BYTRM SCALE1" = 20' DATE08/28/24	SHEET NO. C-4 4 OF 10 SHEETS

PARTIAL SITE PLAN

SCALE: 1" = 20'
Graphic Scale

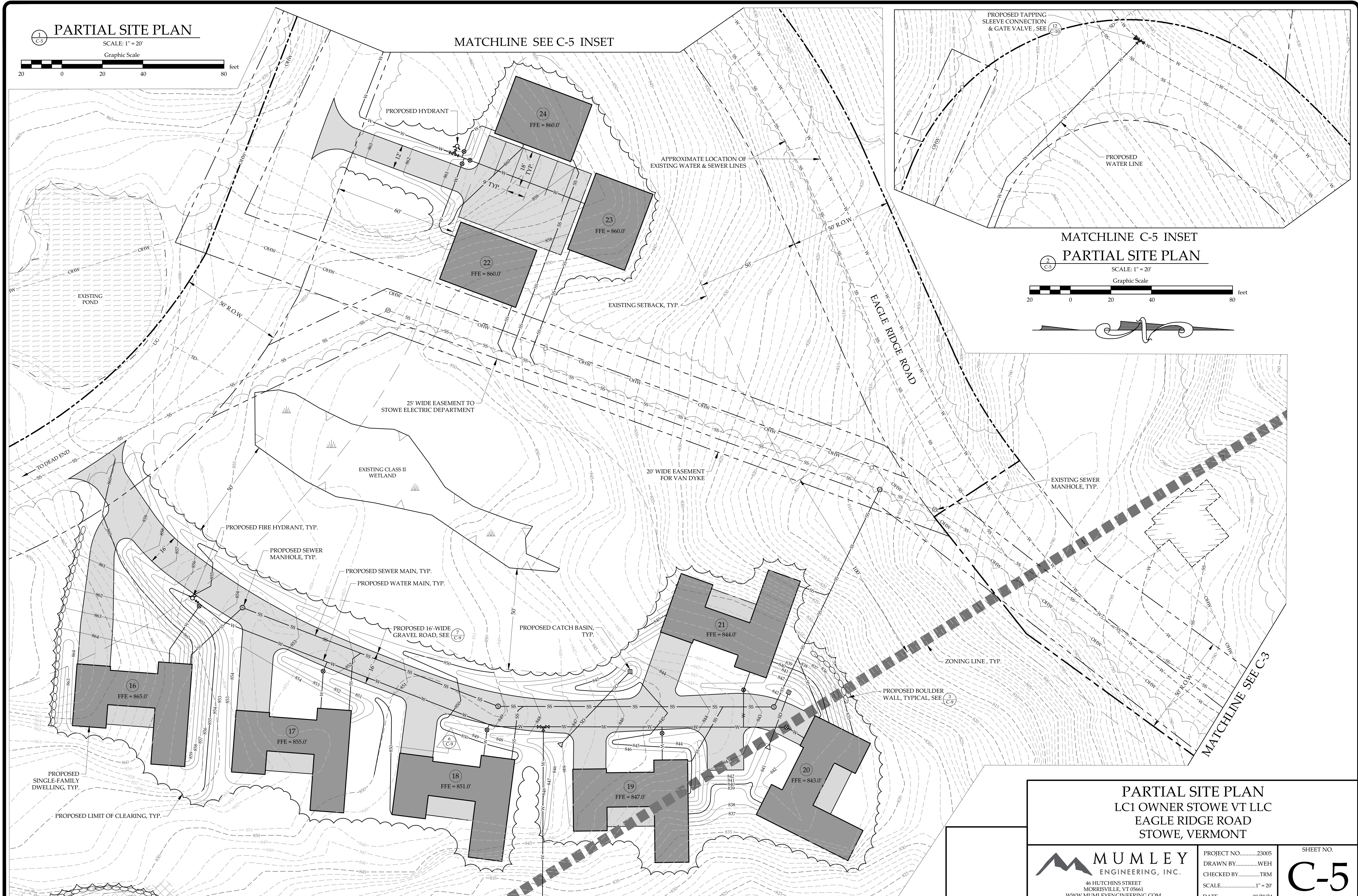
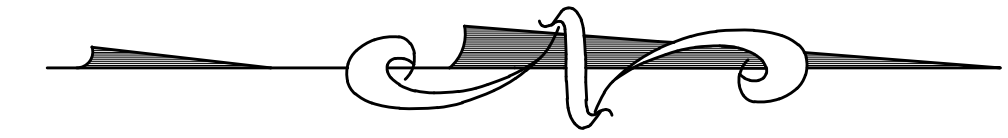


MATCHLINE SEE C-5 INSET



MATCHLINE C-5 INSET PARTIAL SITE PLAN

SCALE: 1" = 20'
Graphic Scale

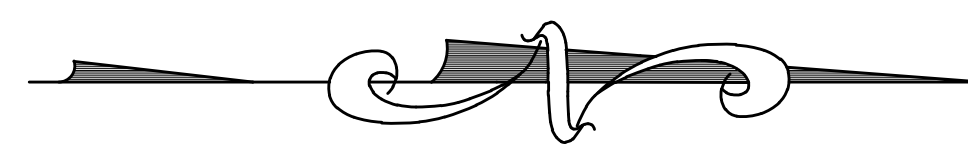


PARTIAL SITE PLAN LC1 OWNER STOWE VT LLC EAGLE RIDGE ROAD STOWE, VERMONT

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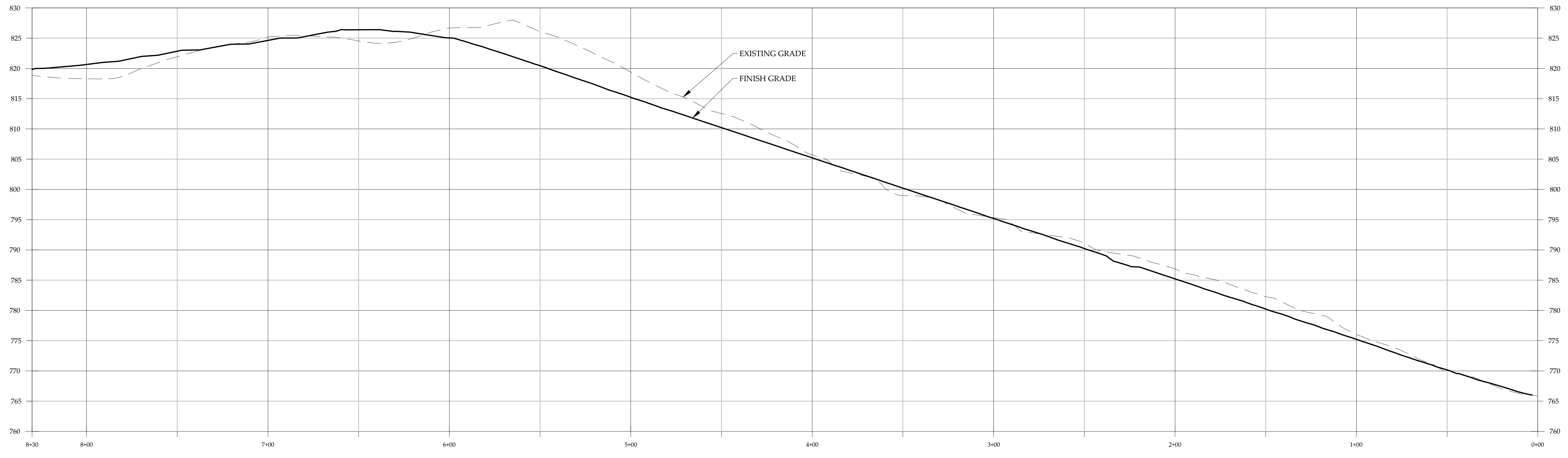
PROJECT NO.23005
DRAWN BYWEH
CHECKED BYTRM
SCALE1" = 20'
DATE08/28/24

SHEET NO.
C-5
5 OF 10 SHEETS



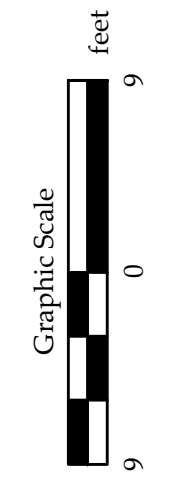
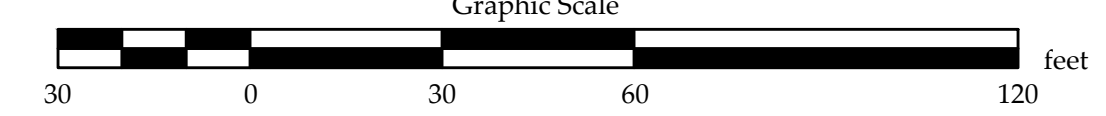
ROAD 'A' PLAN

SCALE: 1" = 30'
Graphic Scale

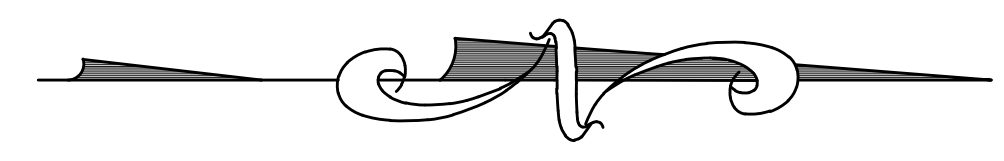
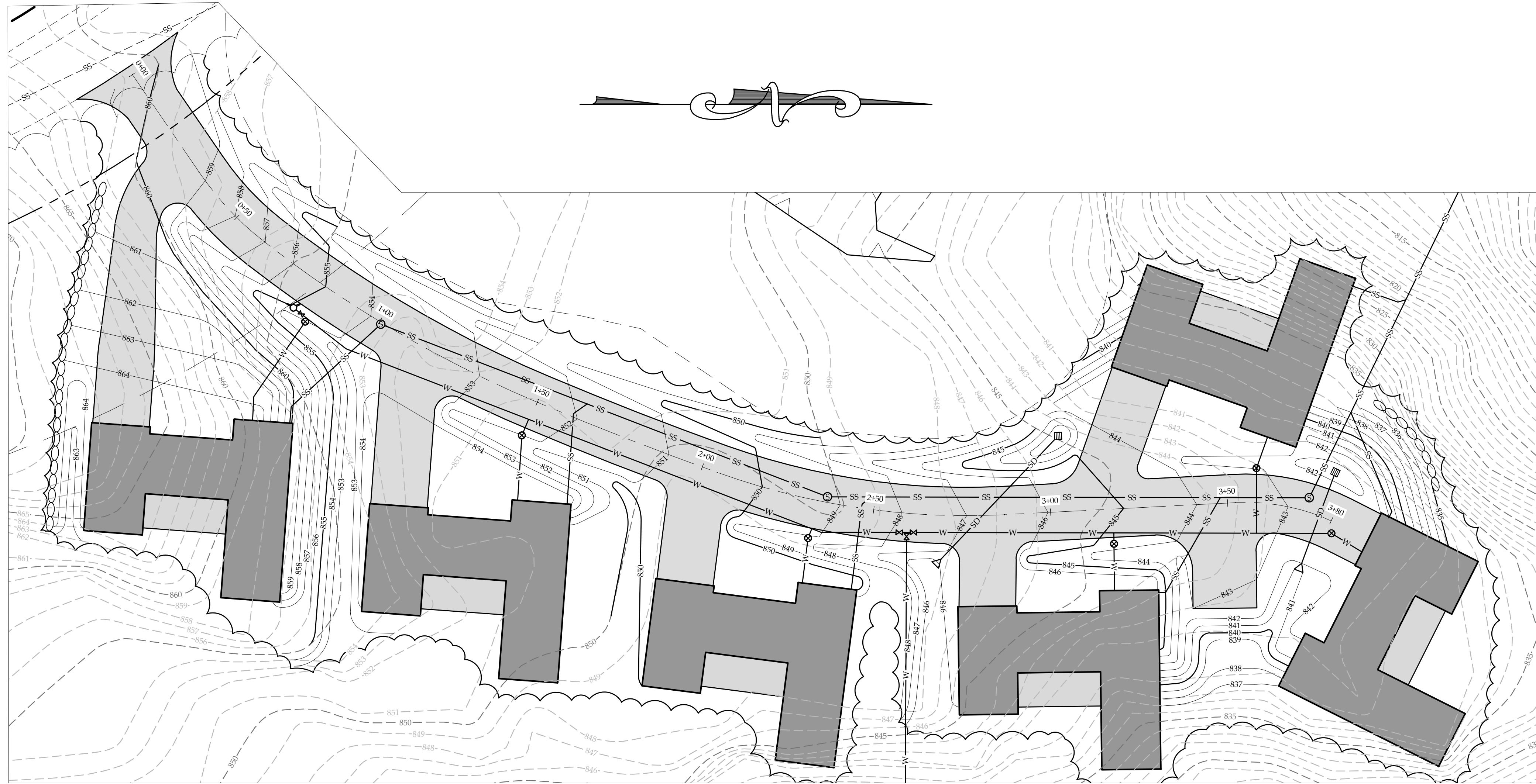


ROAD 'A' PROFILE

SCALE: 1" = 30'
Graphic Scale

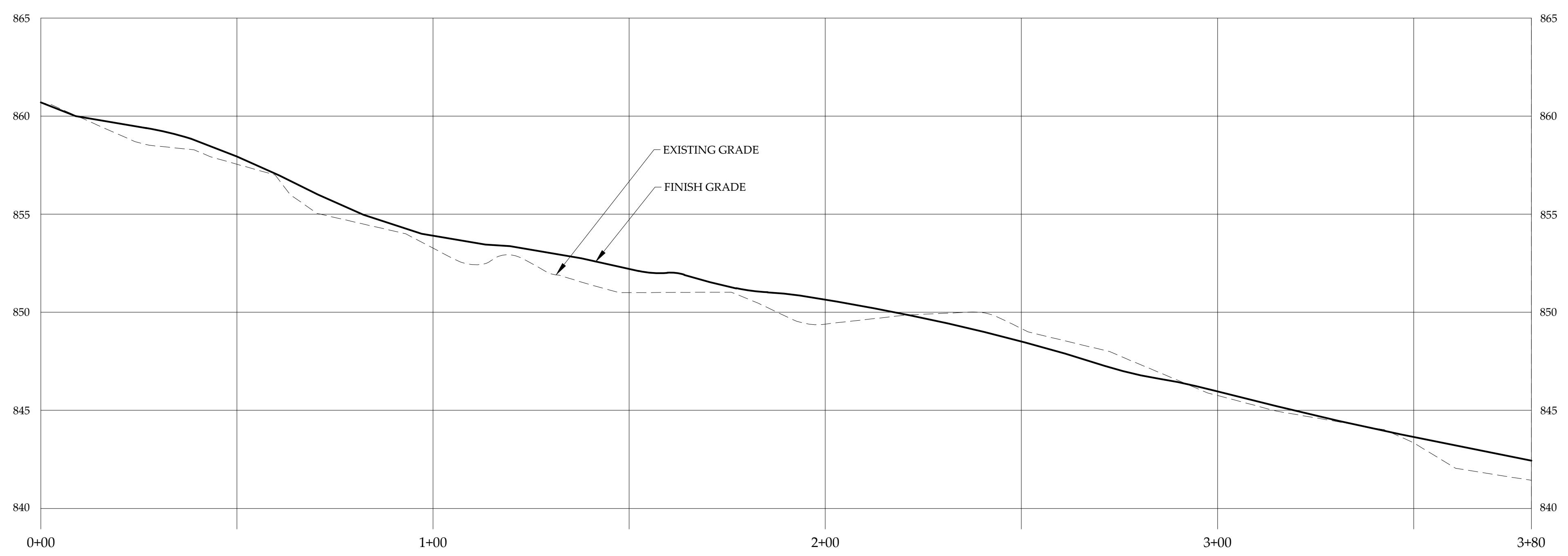


ROAD 'A' PLAN & PROFILE LC1 OWNER STOWE VT LLC 511 MOUNTAIN ROAD STOWE, VERMONT		
 MUMLEY ENGINEERING, INC. <small>46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2024 - MUMLEY ENGINEERING, INC.</small>	PROJECT NO.....23005 DRAWN BY.....WEH CHECKED BY.....TRM SCALE.....1" = 30' DATE.....08/28/24	SHEET NO. C-6 6 OF 10 SHEETS



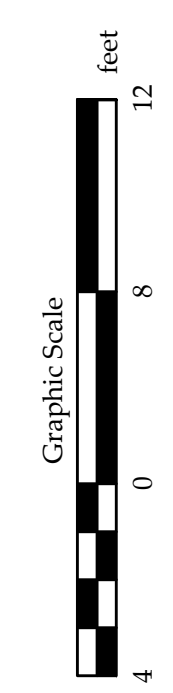
1
C-7
ROAD 'B' PLAN

SCALE: 1" = 20'
Graphic Scale

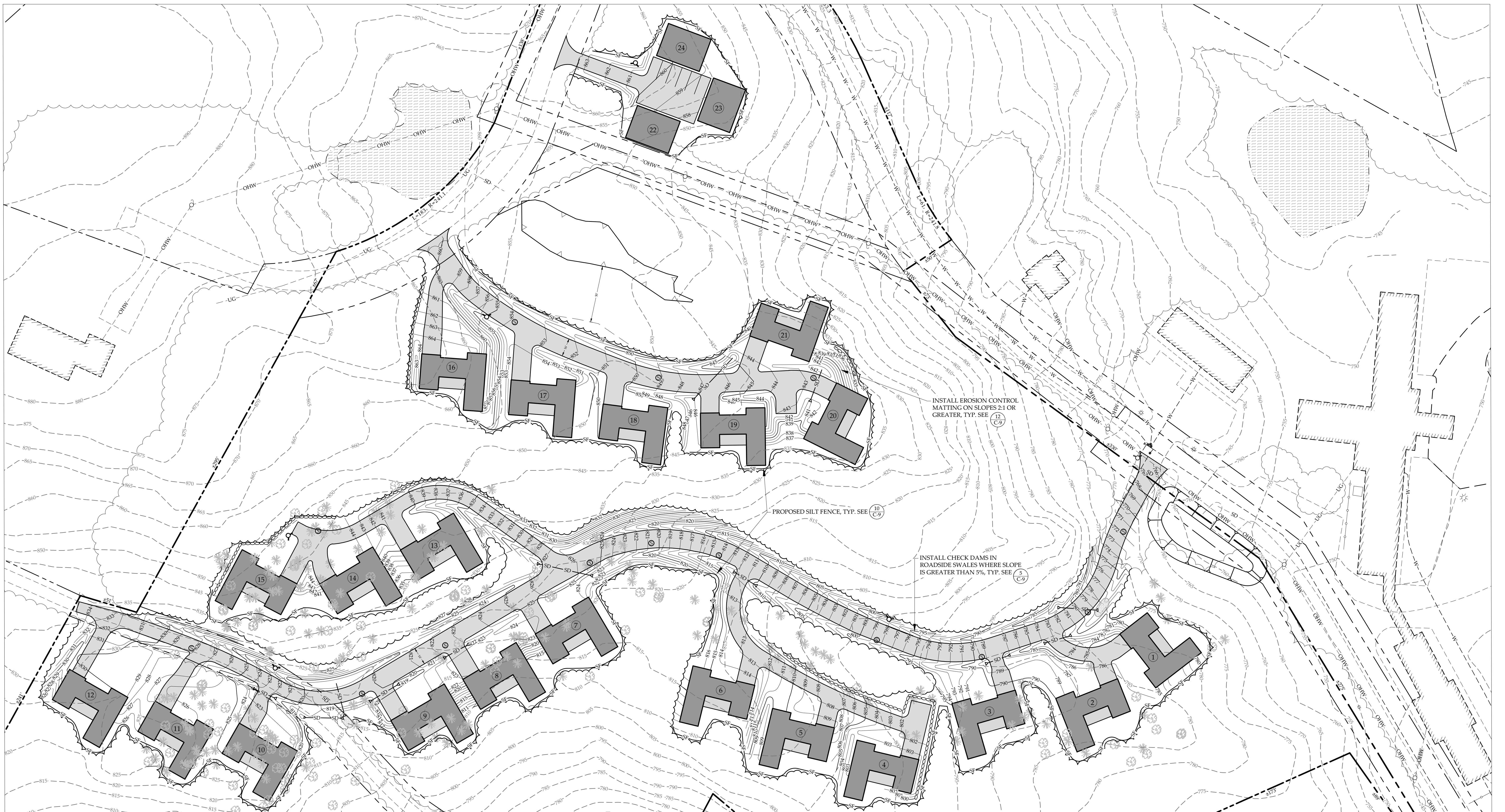


2
C-7
ROAD 'B' PROFILE

SCALE: 1" = 20'
Graphic Scale



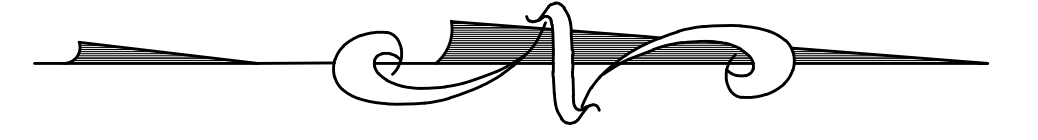
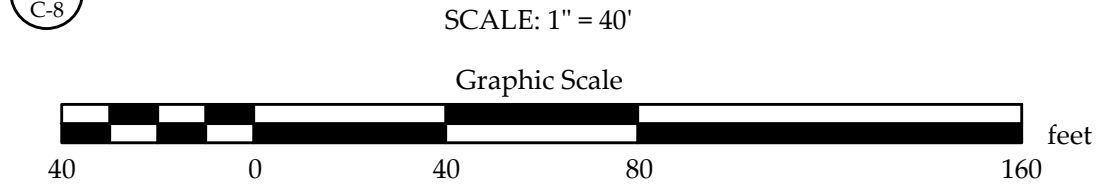
ROAD 'B' PLAN & PROFILE LC1 OWNER STOWE VT LLC EAGLE RIDGE ROAD STOWE, VERMONT		
 MUMLEY ENGINEERING, INC. <small>46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2024 - MUMLEY ENGINEERING, INC.</small>	PROJECT NO.....23005 DRAWN BY.....WEH CHECKED BY.....TRM SCALE.....1" = 20' DATE.....08/28/24	SHEET NO. C-7 7 OF 10 SHEETS



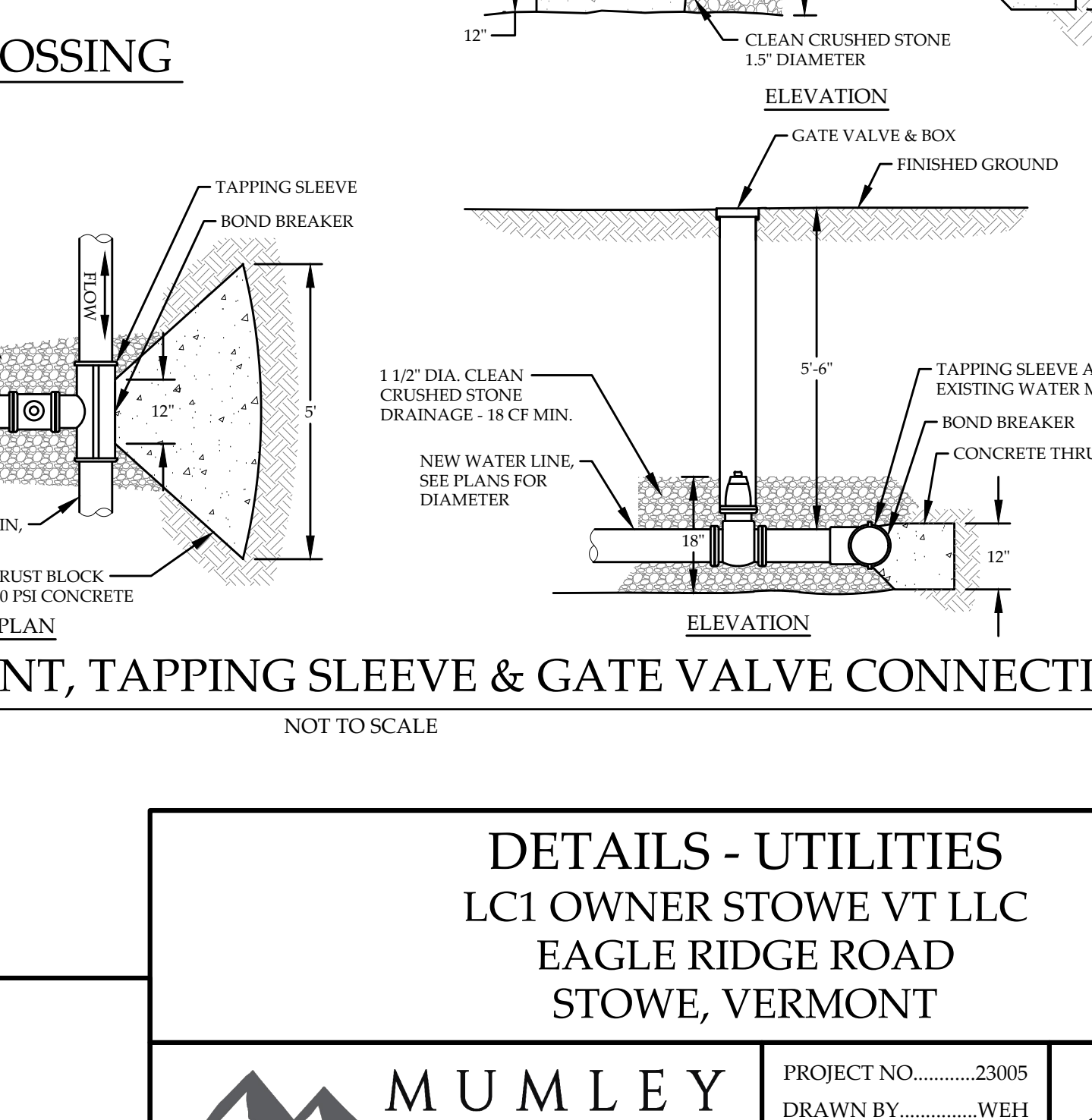
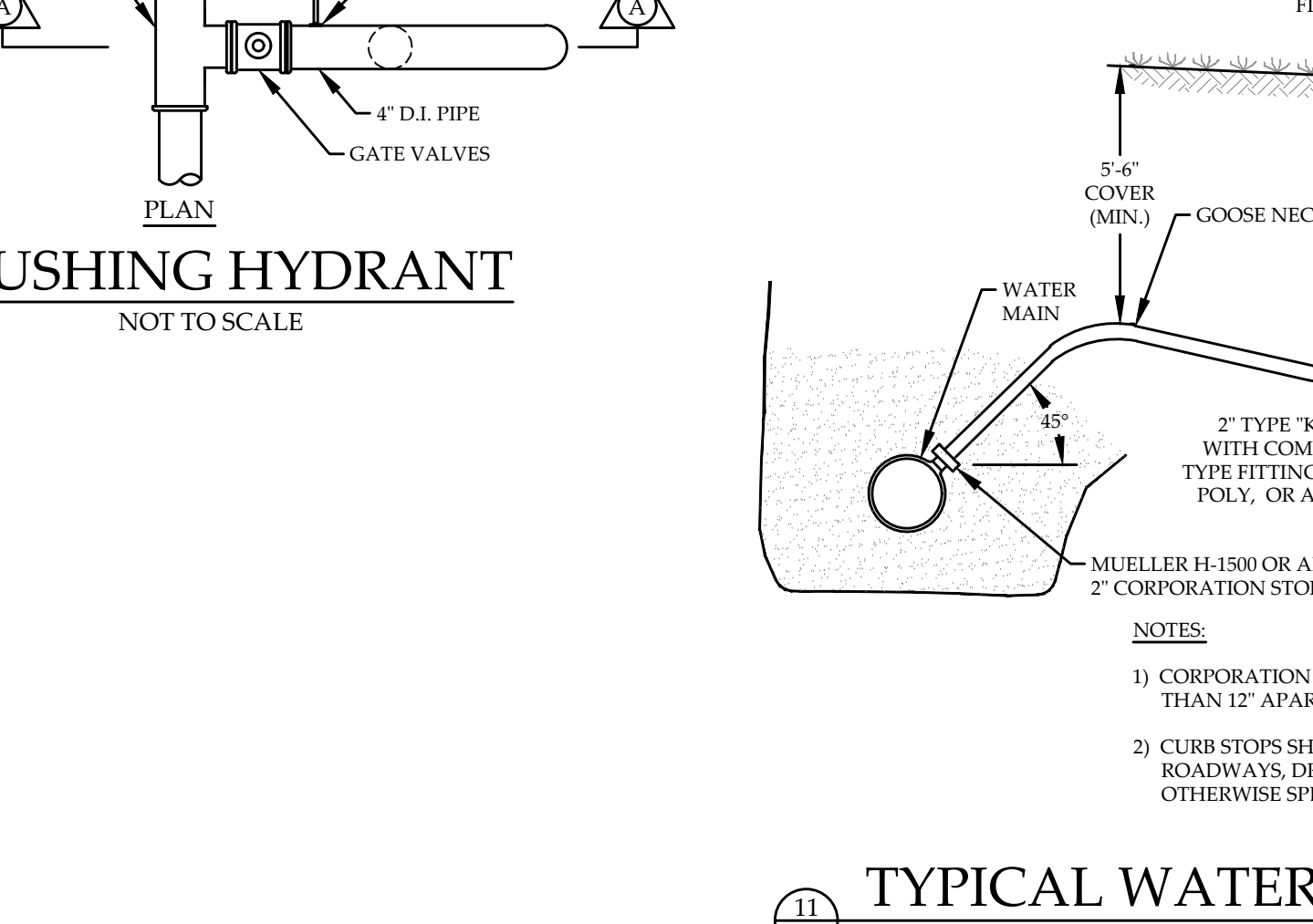
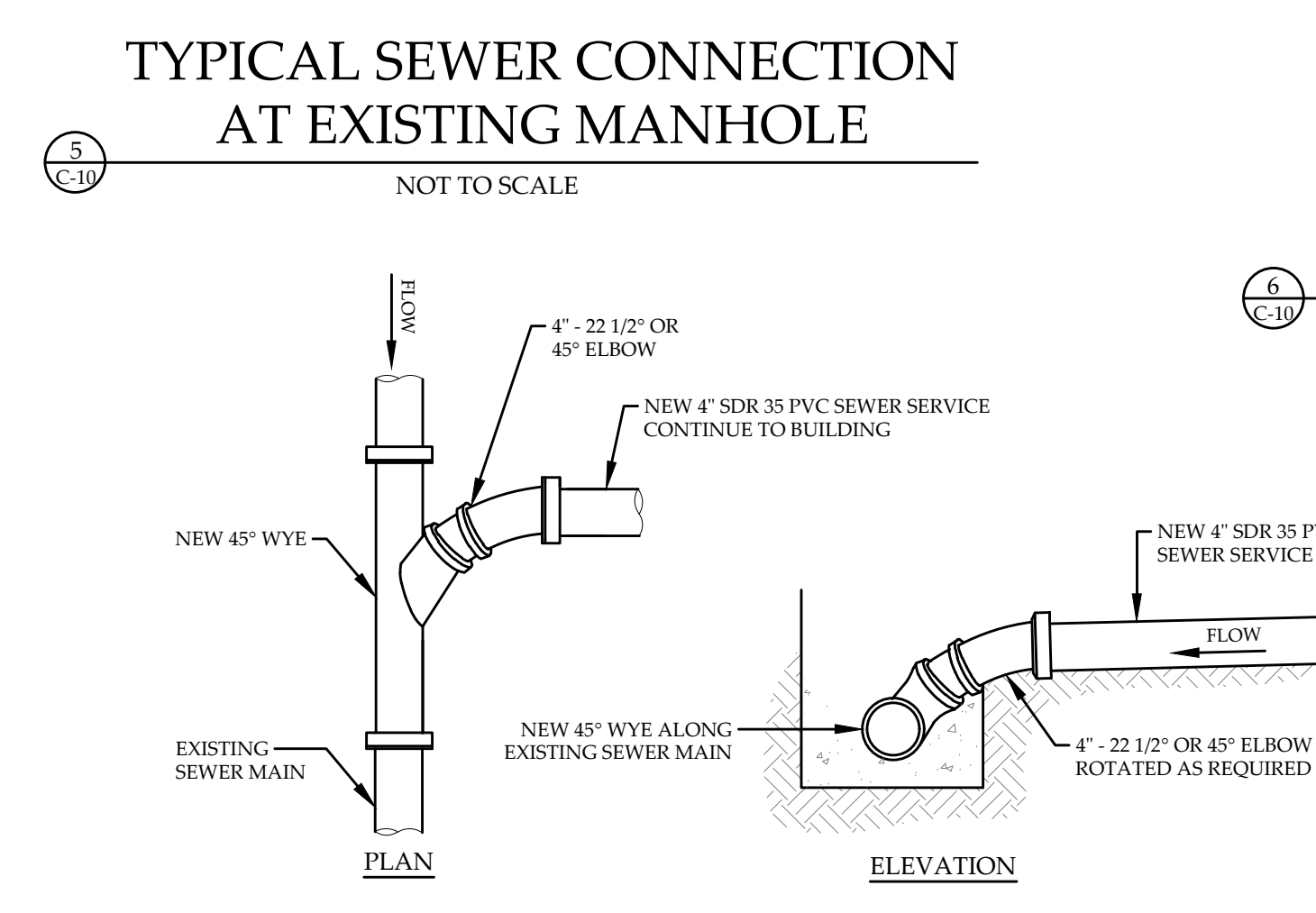
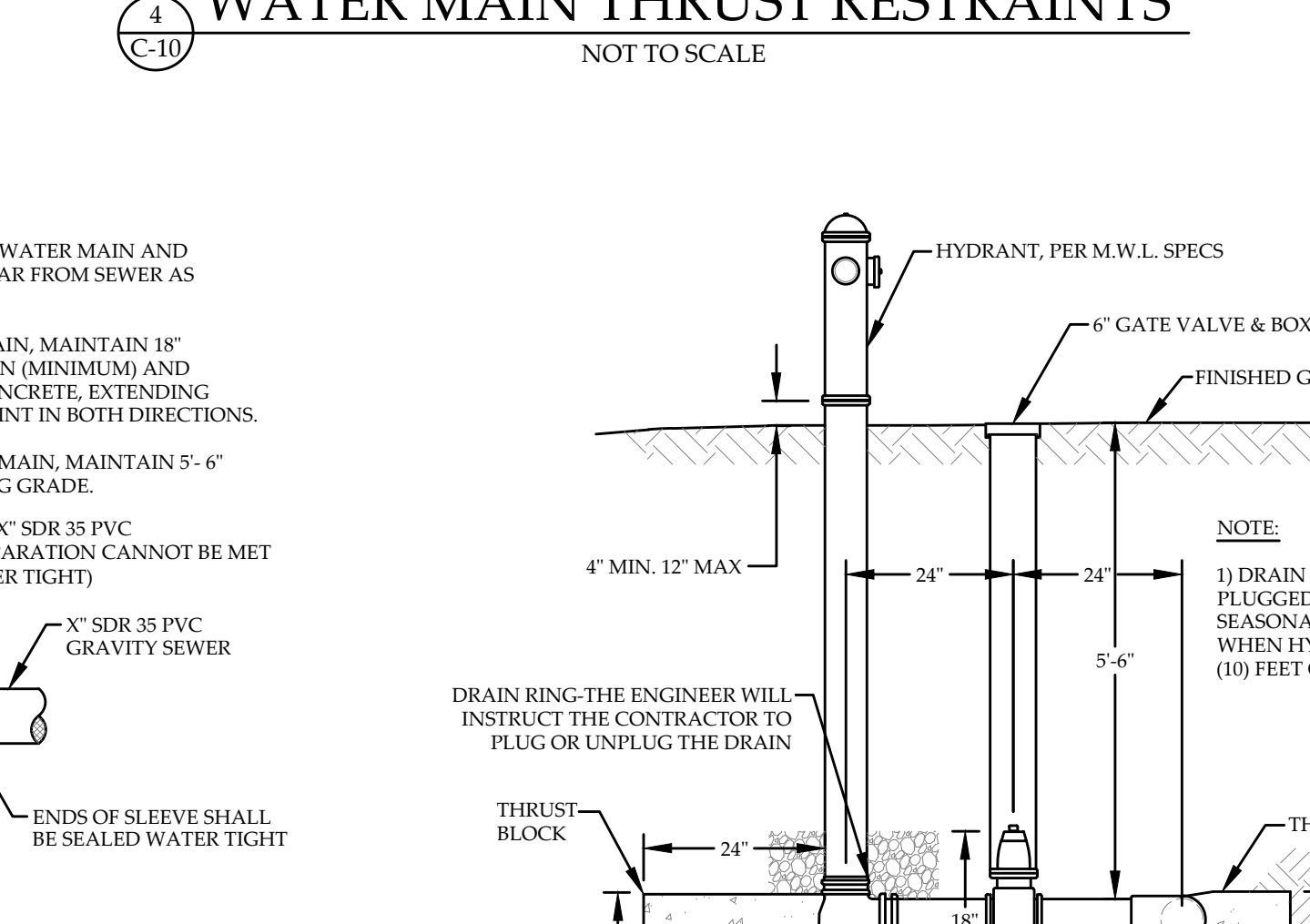
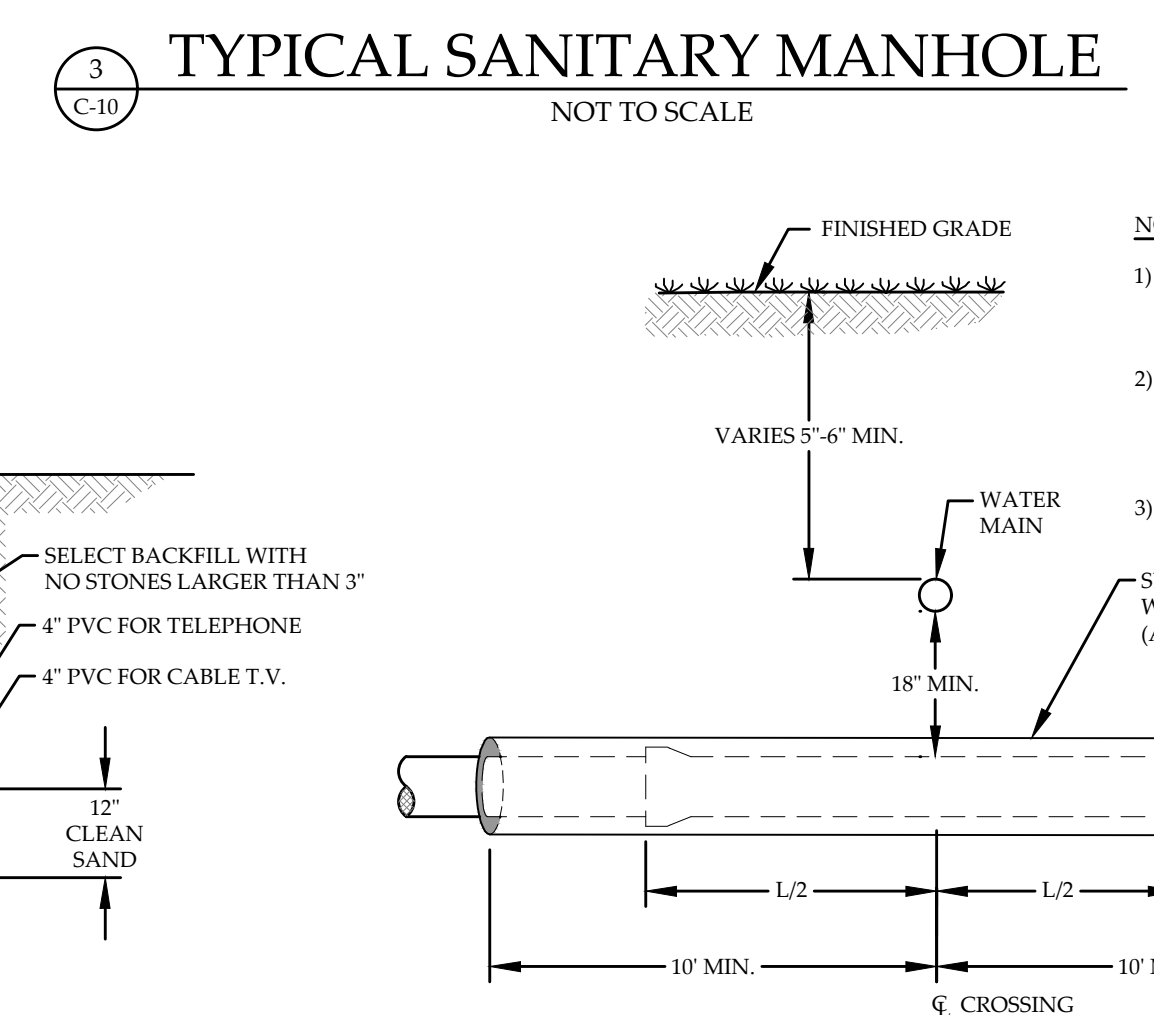
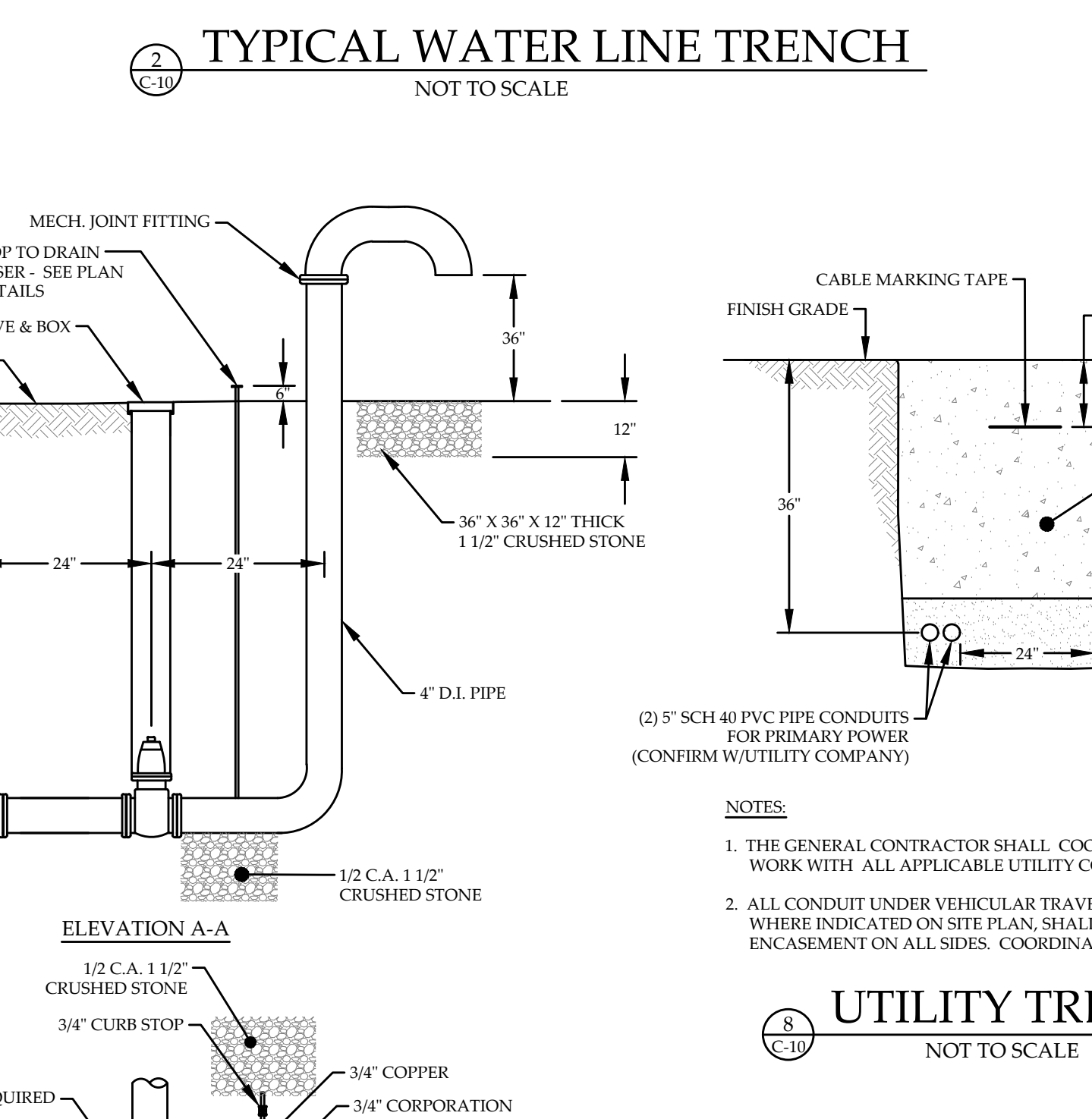
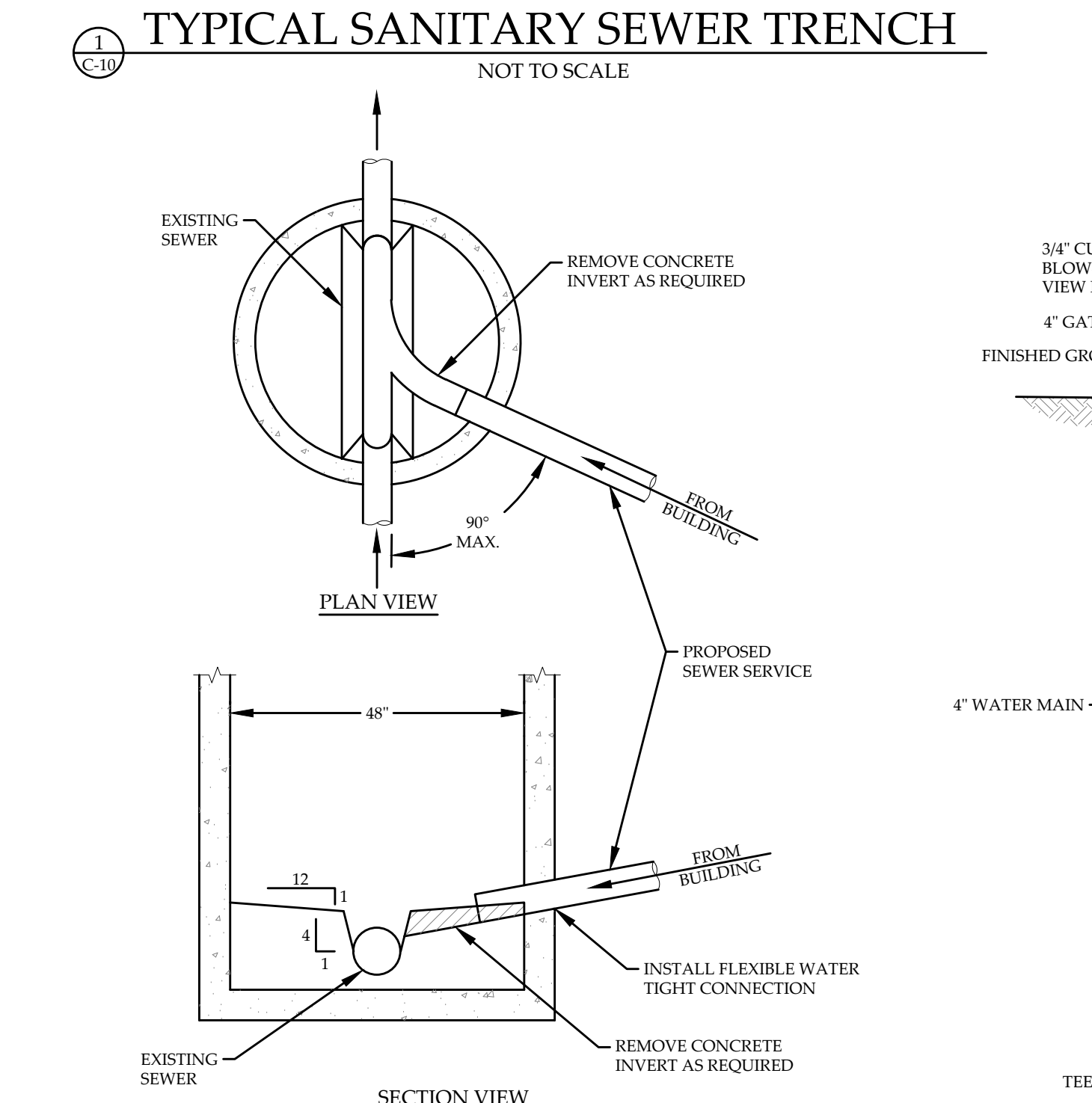
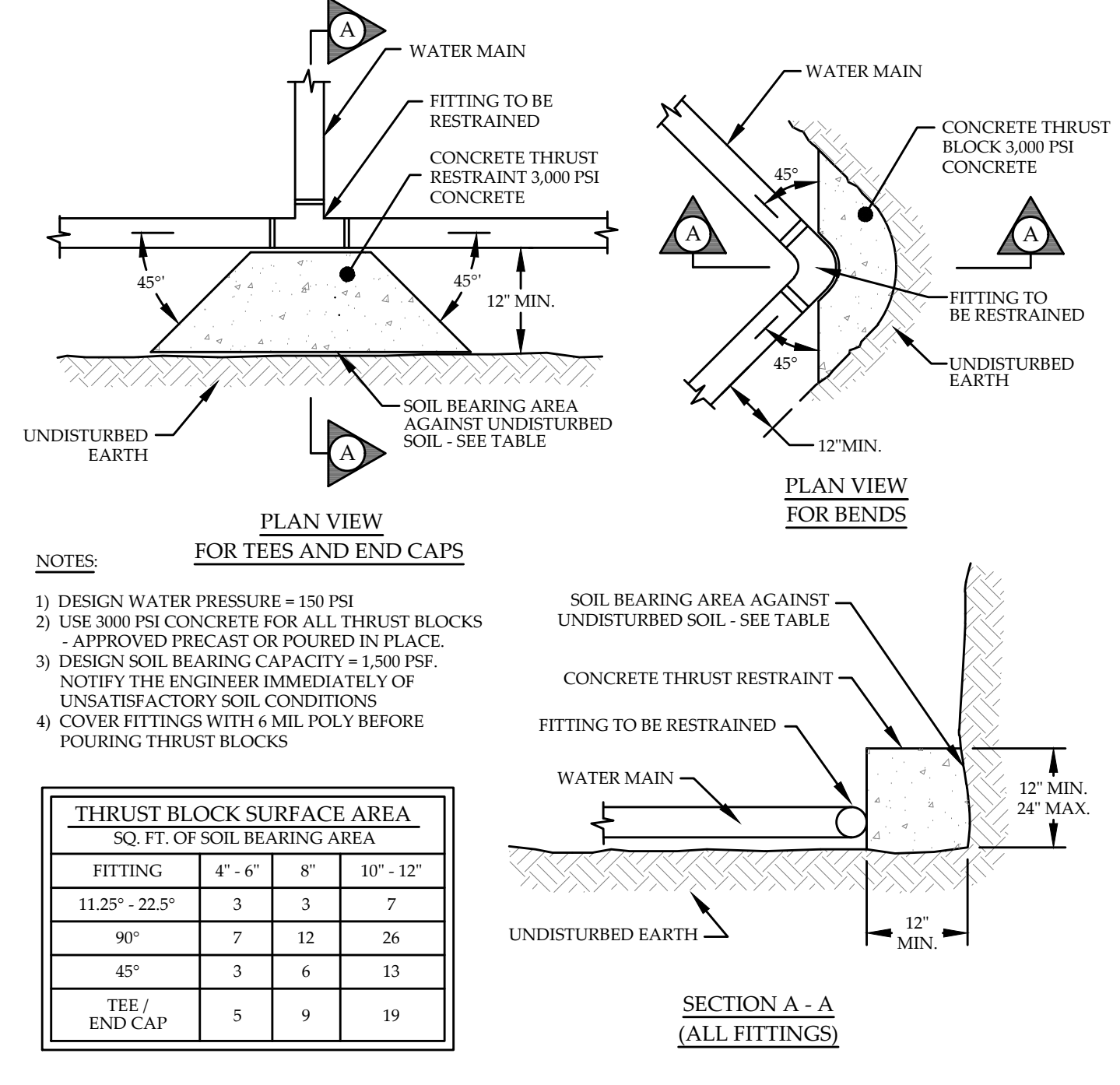
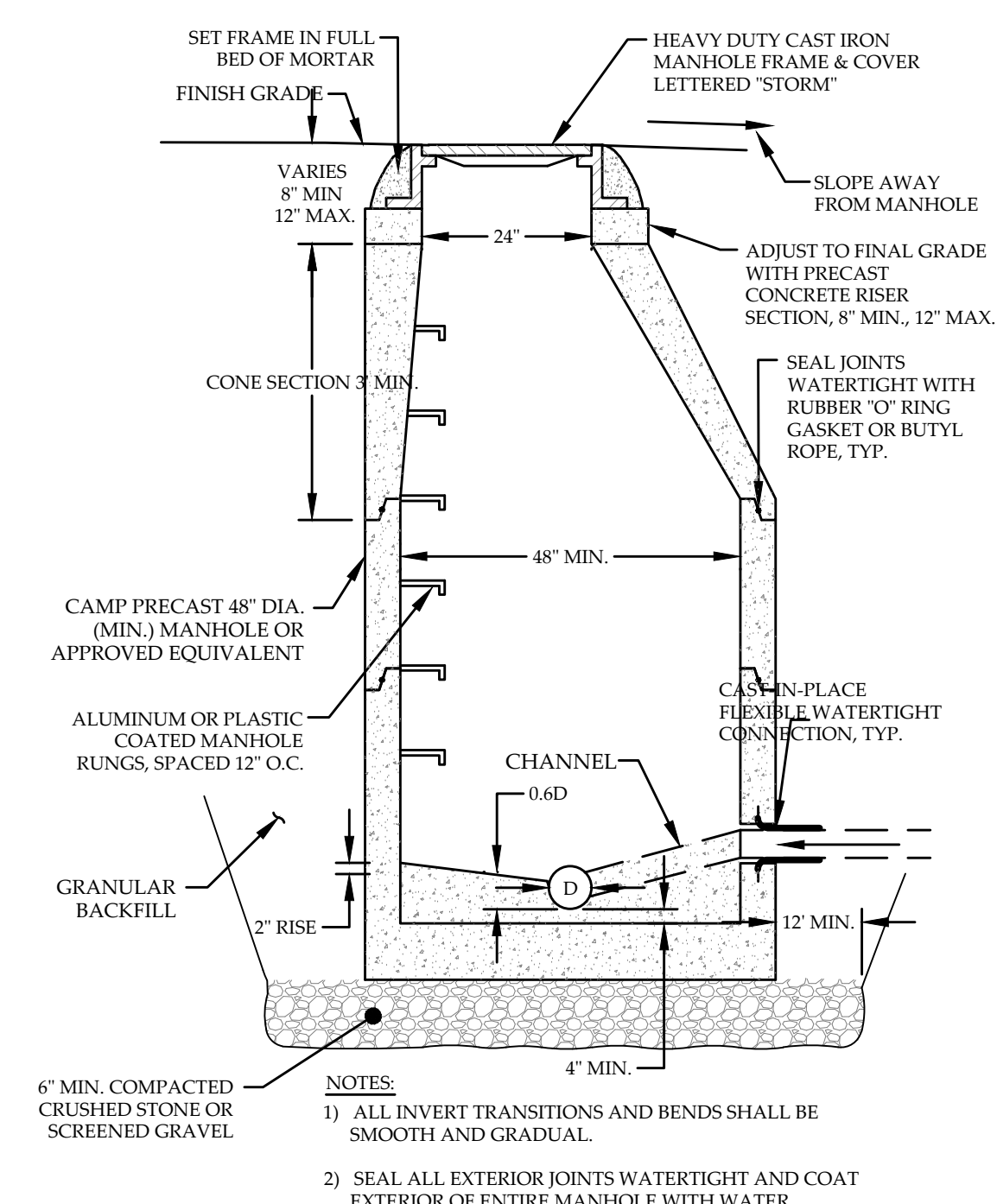
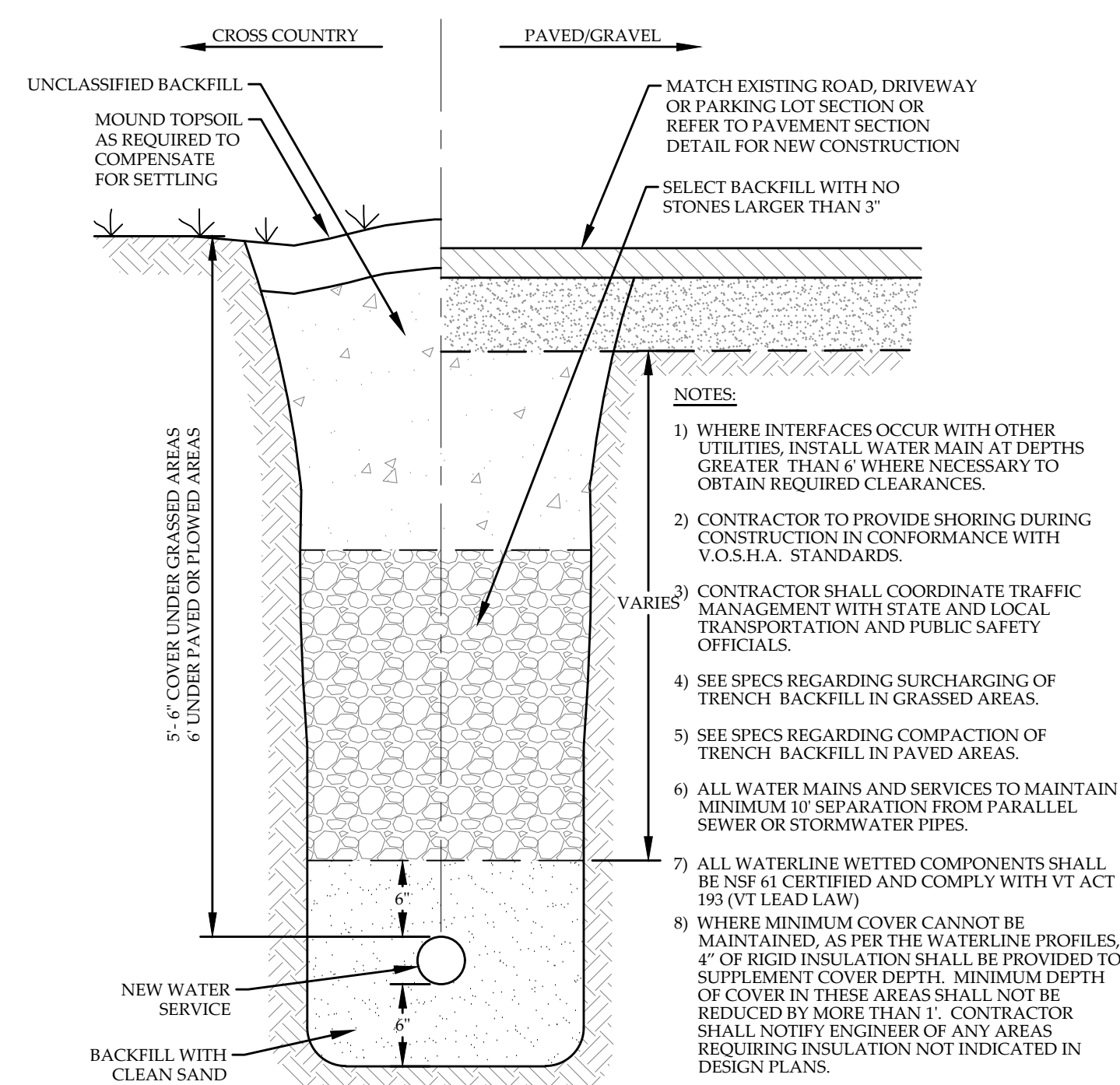
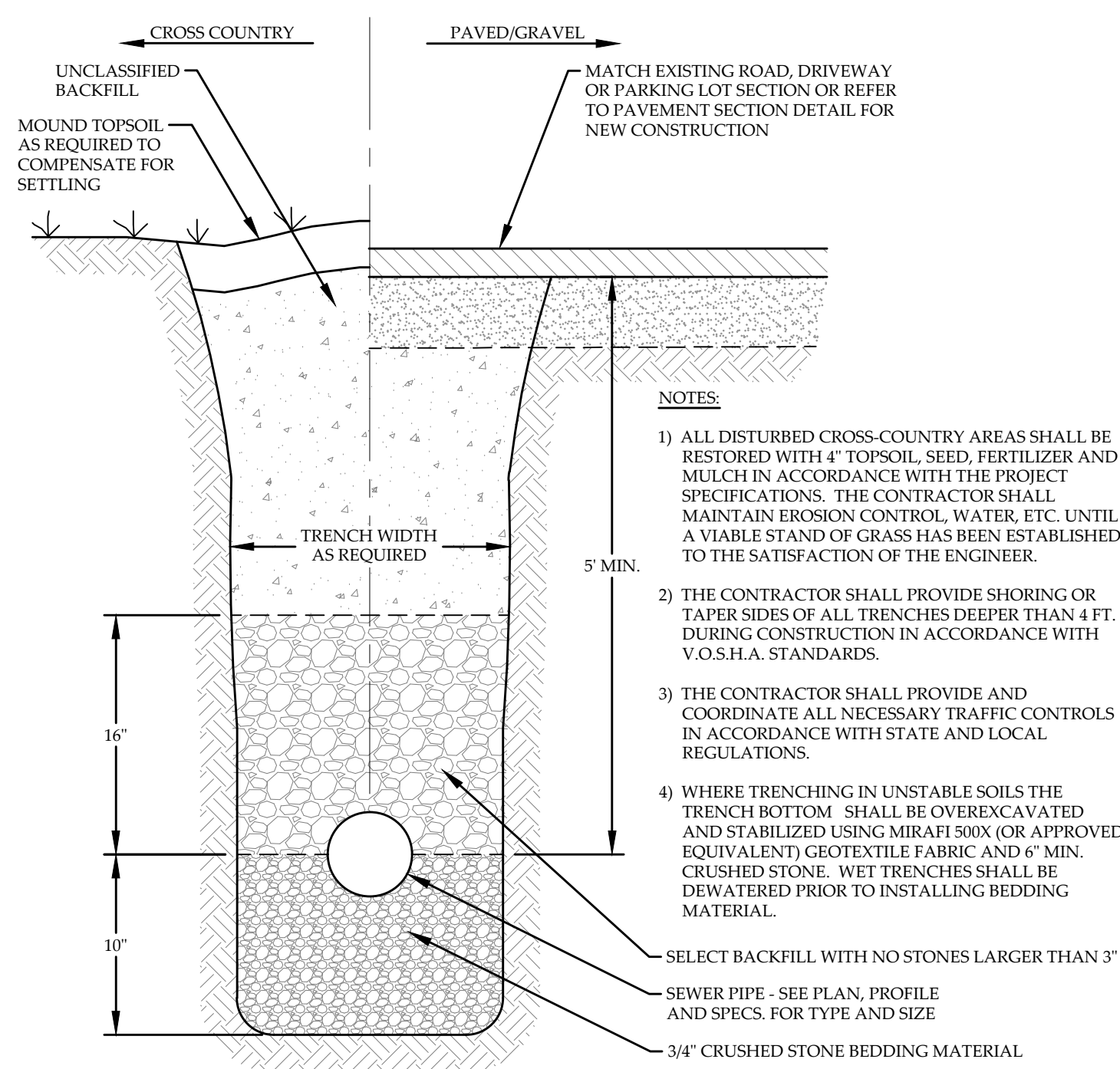
STOWE ZONING RULES, SECTION 3.12 STORMWATER MANAGEMENT (EROSION PREVENTION AND SEDIMENT CONTROL)

- (1) ALL STORMWATER MANAGEMENT ACTIVITIES REQUIRED BY THE TOWN SHALL ADHERE TO CURRENT STATE OF VERMONT EROSION PREVENTION AND SEDIMENT CONTROL STANDARDS.
- (2) CONSTRUCTION-RELATED ACTIVITIES ASSOCIATED WITH ANY NEW CONSTRUCTION INCLUDING ONE AND TWO FAMILY DWELLINGS SHALL ADHERE TO THE FOLLOWING:
 - A. SITE CONSTRUCTION WILL BE CONDUCTED IN A MANNER THAT KEEPS THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME TO A MINIMUM.
 - B. AREAS OF EXPOSED SOIL THAT ARE NOT BEING ACTIVELY WORKED, INCLUDING SOIL THAT HAS BEEN STOCKPILED, WILL BE STABILIZED.
 - C. STORMWATER SHALL BE CONTROLLED DURING CONSTRUCTION TO MINIMIZE SOIL EROSION AND TRANSPORT OF SEDIMENT TO SURFACE WATERS. ALL DEVELOPMENT INVOLVING THE DISTURBANCE OF MORE THAN ONE-HALF ACRE SHALL SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN THAT INCORPORATES THE STATE OF VERMONT EROSION PREVENTION AND SEDIMENT CONTROL PRACTICES BEFORE A ZONING PERMIT IS ISSUED.
 - D. SOIL DISTURBANCE SHALL NOT BE ALLOWED BETWEEN THE PERIOD OF OCTOBER 15 TO APRIL 15 UNLESS IN APPLICATION MATERIALS INCLUDE EROSION CONTROL MEASURES THAT ARE ADEQUATE TO ENSURE COMPLIANCE WITH (A), (B) AND (C) AS NOTED ABOVE, TAKING INTO ACCOUNT WINTER AND SPRING CONDITIONS.
 - E. ALL DEVELOPMENT MUST PROVIDE FOR AN ADEQUATE STORMWATER DRAINAGE SYSTEM TO ENSURE THAT EXISTING DRAINAGE PATTERNS ARE NOT ALTERED IN A MANNER TO CAUSE AN UNDUE ADVERSE IMPACT ON NEIGHBORING PROPERTIES, TOWN HIGHWAYS OR SURFACE WATERS.
 - F. ALL DEVELOPMENT THAT CREATES MORE THAN 1/2 (ONE-HALF) ACRE OF ADDITIONAL IMPERVIOUS SURFACE MUST PROVIDE FOR AN ADEQUATE STORMWATER DRAINAGE SYSTEM TO ENSURE THAT STORMWATER RUNOFF IS NOT INCREASED BEYOND THE BOUNDARIES OF THE PROJECT AS DETERMINED BY THE STANDARDS USED FOR THE STATE OF VERMONT STORMWATER MANAGEMENT PERMITS. SUCH DEVELOPMENT SHALL SUBMIT A STORMWATER MANAGEMENT PLAN PREPARED AND SEALED BY A REGISTERED ENGINEER BEFORE A ZONING PERMIT IS ISSUED.

EROSION CONTROL PLAN



EROSION CONTROL PLAN LC1 OWNER STOWE VT LLC 511 MOUNTAIN ROAD STOWE, VERMONT		
 MUMLEY ENGINEERING, INC. <small>46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2024 - MUMLEY ENGINEERING, INC.</small>	PROJECT NO.....23005 DRAWN BY.....WEH CHECKED BY.....TRM SCALE.....1" = 40' DATE.....08/28/24	SHEET NO. C-8 8 OF 10 SHEETS



DETAILS - UTILITIES
LC1 OWNER STOWE VT LLC
EAGLE RIDGE ROAD
STOWE, VERMONT

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46 HUTCHINS STREET
MORRISVILLE, VT 05661
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PROJECT NO.23005
DRAWN BYWEH
CHECKED BYTRM
SCALEAS NOTED
DATE08/28/24

SHEET NO.
C-10
10 OF 10 SHEETS

GENERAL NOTES:

- Contractor will review all drawings and specifications and confirm any unclear information with the Architect before proceeding. Sheets are not to be separated when distributed to subcontractors in order to maintain contextual information.
- Contractor is responsible for the construction of a complete weather tight building within the scope of the construction documents. If contractor feels conformance with the construction documents is in conflict with this goal he shall discuss conflicts with Architect.
- Contractor is responsible for coordinating and supervising all sub-contractors. Workmanship standards shall be those generally accepted for high-end construction. Contractor warrants all work for a minimum of one year from final completion of job. Other explicit warranties may be in addition to above.

Eagle Ridge Road Housing Development

Eagle Ridge Road Stowe VT 05672

DRB DRAWING SET
08-15-2024

PROJECT NARRATIVE

Proposed construction of a single-family home as part of a larger development of similar homes. The base home consists of 4 bedrooms and 3 1/2 bathrooms across two floors with no basement and an attached single bay garage. In addition to the conditioned living space, there are outdoor decks on each level.

The design is organized to use modular construction at the 2nd floor, while using traditional stick-built and cast-in-place concrete construction at grade. Each home will be connected to the larger development's water, sewer, and stormwater systems, and the home is to meet all Vermont residential and energy codes.

QUICK BUILDING STATS

Construction Type:	V - Wood Frame
Occupancy Type:	Single Family Residential
Building Height:	26'-10" +/- to top of roof
Floor Area:	1st Floor: 1,070 GSF 2nd Floor: 1,743 GSF
Gross Conditioned:	2,813 GSF
Gross Unconditioned:	913 GSF
Total Gross Floor Area:	3,726 GSF

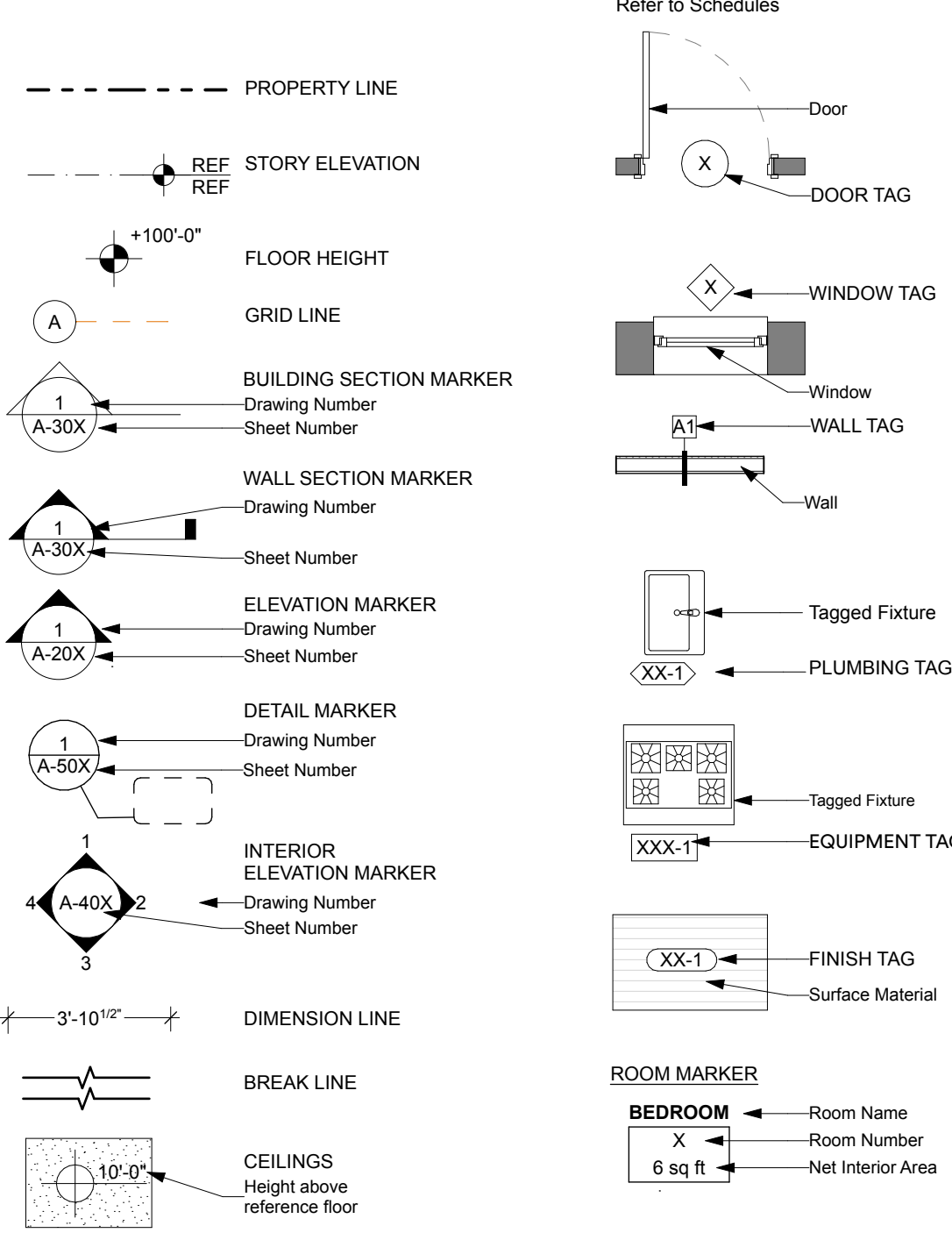
SHEET INDEX

DESCRIPTION	ISSUED
GENERAL	
G-000 COVER SHEET	<input checked="" type="checkbox"/>
LANDSCAPE	
L1-00 PLANTING PLAN	<input checked="" type="checkbox"/>
L2-00 ENLARGED SAMPLE SITE PLAN	<input checked="" type="checkbox"/>
ARCHITECTURAL	
A-100 FOUNDATION PLAN	<input checked="" type="checkbox"/>
A-101 1ST FLOOR PLAN	<input checked="" type="checkbox"/>
A-102 2ND FLOOR PLAN	<input checked="" type="checkbox"/>
A-103 ROOF PLAN	<input checked="" type="checkbox"/>
A-111 1ST FLOOR RCP	<input checked="" type="checkbox"/>
A-201 BUILDING ELEVATIONS	<input checked="" type="checkbox"/>
A-202 BUILDING ELEVATIONS	<input checked="" type="checkbox"/>
A-601 DOOR, WINDOW, PLUMBING SCHEDULES	<input checked="" type="checkbox"/>
A-900 EXTERIOR RENDERINGS	<input checked="" type="checkbox"/>

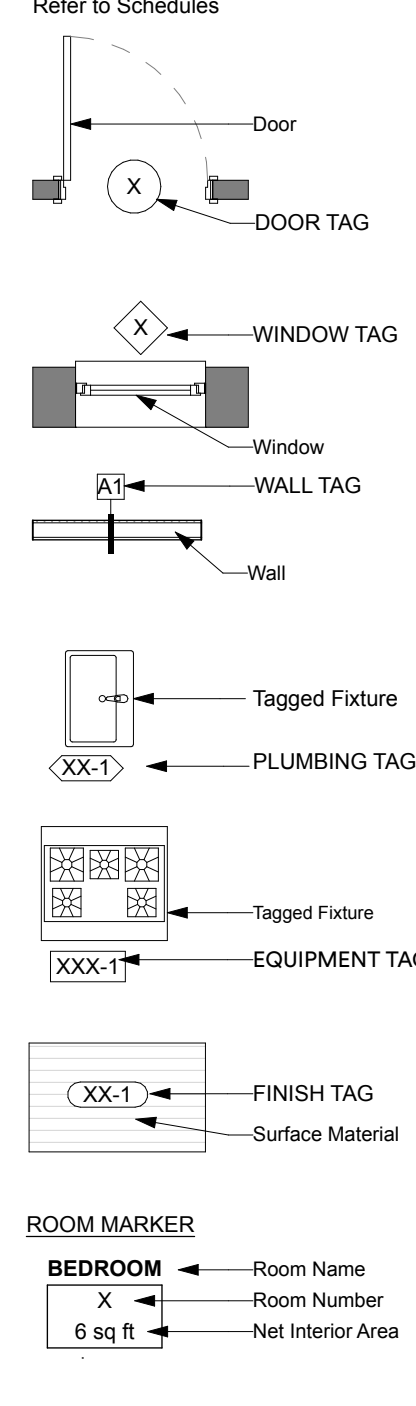
PROPOSED RENDERING



SYMBOL LEGEND



PROJECT TAGS



COMMON ABBREVIATIONS

ABV Above	HT Height
ACT Acoustic Ceiling Tile	HM Hollow Metal
AD Area Drain	HORIZ Horizontal
ADJ Adjustable	HWH Hot Water Heater
AFF Above Finished Floor	IBC International Building Code
ALUM Aluminum	ID Inside Diameter
ALT Alternate	IECC International Energy Conservation Code
APPROX Approximate	INSUL Insulation
ANOD Anodized	INT Interior
BLDG Building	IRC International Residential Code
BLKG Blocking	MAX Maximum
B.O. Bottom of Bulkhead	MECH Mechanical
BLKHD Bulkhead	MIN Minimum
CAB Cabinet	MISC Misc
CIP Cast in Place	MO Masonry Opening
CEO Code Enforcement Officer	MTL Metal
CFCI Contractor Furnished	MUBEC Maine Uniform Building and Energy Code
CFCI Contractor Installed	NIC Not in Contract
CLG Ceiling	OC On Center
CLR Clear	OFCI Owner Furnished, Contractor Installed
CMU Concrete Masonry Unit	PCC Pre-Cast Concrete
COL Column	PLUMB Plumbing
CONC Concrete	PLY Plywood
CONT Continuous	PNT Paint
CPT Carpet	PT Pressure-Treated
CT Ceramic Tile	PSF Pounds per square foot
CTR Center	PSI Pounds per square inch
DBL Double	RBR Rubber
DIA Diameter	RCP Reflected Ceiling Plan
DIM(S) Dimension(s)	REQ Required
DN Down	RM Room
DR Door	SIM Similar
DW Dishwasher	SPEC Specified or Specification
DWG Drawing	SPK Sprinkler
EA Each	SS Stainless Steel
EL Elevation	STC Sound Transmission Coefficient
ELEC Electrical	STL Steel
ELEV Elevator	STRUCT Structural
EOS Edge of Slab	TELE Telephone
EQ Equal	TO Top of
ETR Existing to Remain	TOS Top of Slab/Structure
EQUIP Equipment	TOFF Top of Finish Floor
EXT Exterior	TYP Typical
FA Fire Alarm	UNO Unless Noted Otherwise
FAP Fire Annunciator Panel	VIF Verify in Field
FD Floor Drain	WD With
FE Fire Extinguisher	W Wood
FEC Fire Extinguisher Cabinet	
FH Fire Hydrant	
FLR Floor	
FT Feet	
GA Gauge	
GAL Gallon	
GALV Galvanized	
GL Glass	
GYP Gypsum Board	
GWB Gypsum Wall Board	

MATERIAL LEGEND

	Brick - Elevation
	Brick - Section
	Concrete - Block
	Concrete - CIP
	Earth
	Gravel
	Gypsum
	Insulation - Batt
	Insulation - Rigid
	Metal - Aluminum
	Metal - Steel
	Not in Contract
	Plywood
	Vegetation
	Wood - End Grain

PHOTOS FROM SITE



LOCATION MAP



REVISIONS	DATE

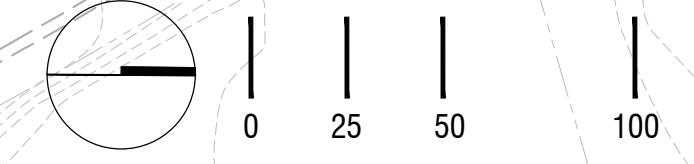
AUGUST 15, 2024

PLANTING PLAN

L 1-00
NOT FOR CONSTRUCTION

PLANT LIST

SYMB	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING
TREES - DECIDUOUS					
AR	ACER RUBRUM	RED MAPLE	65	2.5" CAL. MIN.	PER PLAN
BP	BETULA PAPERIFERA	PAPER BIRCH	119	2.5" CAL. MIN.	PER PLAN
TREES - CONIFEROUS					
PS	PINUS STROBUS	WHITE PINE	70	2.5" CAL. MIN.	PER PLAN
SHRUBS					
CS	CORNUS SERICEA	RED TWIG DOGWOOD	498	2.5" CAL. MIN.	PER PLAN
NATIVE SOD					
DP	DENSTAEADIA PUNCTILOBA	HAY SCENTED FERN	18,275	SOD	PER PLAN
SEEDING					
RESTORATION MIX NEW ENGLAND CONSERVATION/WILDLIFE MIX MFR: NEW ENGLAND WETLAND PLANTS TOTAL AREA: 82,241 SF APPLICATION RATE 25LBS/ACRE 1750 SQ FT/LB (SEEDING RATE MAY VARY DEPENDING ON TIME OF YEAR, SEE SPEC. SHEET FOR INSTRUCTIONS)					
EXISTING TREES					
○ EXISTING DECIDUOUS TREE					
○ EXISTING CONIFEROUS TREE					



MATERIALS LEGEND

SYMBOL	PLAN LABEL	MATERIAL DESCRIPTION	NOTES	QTY.
	BLACK LOCUST PAVERS	BLACK LOCUST PAVERS, 3.5"x3.5"	PATTERN TBD	1,464 SF
	GRANITE PAVERS	1.5" THERMAL GRANITE, 2'x6' PAVERS	PATTERN PER PLAN	324 SF
	GRANITE BENCH	8'x2'x18" HT GRANITE BENCH WITH WOOD TOP	SPLIT FACE GRANITE SIDES	03
	BOULDER	BOULDER, RECLAIMED FROM SITE IF OPPORTUNITY PRESENTS	FINAL PLACEMENT TBD	12

NOTE: QUANTITIES ARE BASED ON BUILDINGS 7, 8, AND 9 AND ARE SUBJECT TO CHANGE.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING
TREES - DECIDUOUS					
AR	ACER RUBRUM	RED MAPLE	06	2.5" CAL. MIN.	PER PLAN
BP	BETULA PAPYRIFERA	PAPER BIRCH	24	2.5" CAL. MIN.	PER PLAN
TREES - CONIFEROUS					
PS	PINUS STROBUS	WHITE PINE	07	2.5" CAL. MIN.	PER PLAN
SHRUBS					
CS	CORNUS SERICEA	RED TWIG DOGWOOD	65	2.5" CAL. MIN.	PER PLAN
NATIVE SOD					
DP	DENSTAEADTIA PUNCTILOBA	HAY SCENTED FERN	3,511 SF	SOD	PER PLAN

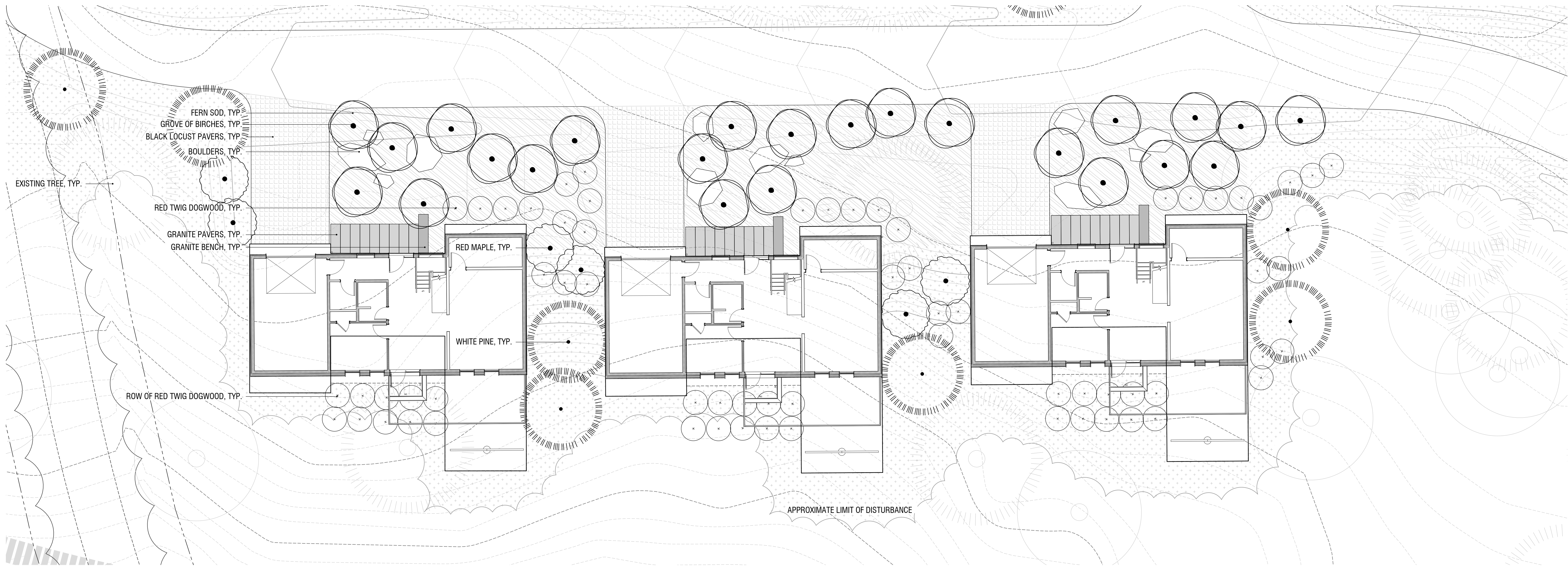
SEEDING

RESTORATION MIX
 NEW ENGLAND CONSERVATION/WILDLIFE MIX
 MFR: NEW ENGLAND WETLAND PLANTS
TOTAL AREA: XX SF
 APPLICATION RATE 25LBS/ACRE | 1750 SQ FT/LB
 (SEEDING RATE MAY VARY DEPENDING ON TIME OF YEAR, SEE SPEC. SHEET FOR INSTRUCTIONS)

EXISTING TREES

EXISTING DECIDUOUS TREE

EXISTING CONIFEROUS TREE



SEAL

PROJECT TITLE

STOWE HOUSING
 EAGLE RIDGE RD,
 STOWE, VT 05672

PREPARED FOR

CHURCHILL JAMES, LLC
 175 PORTLAND ST
 FOURTH FLOOR
 BOSTON, MA 02114
 (617) 892-4942

REVISIONS DATE

REVISIONS	DATE

ISSUE DATE

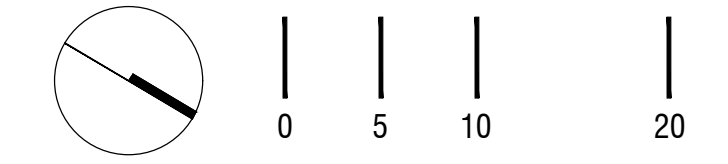
AUGUST 15, 2024

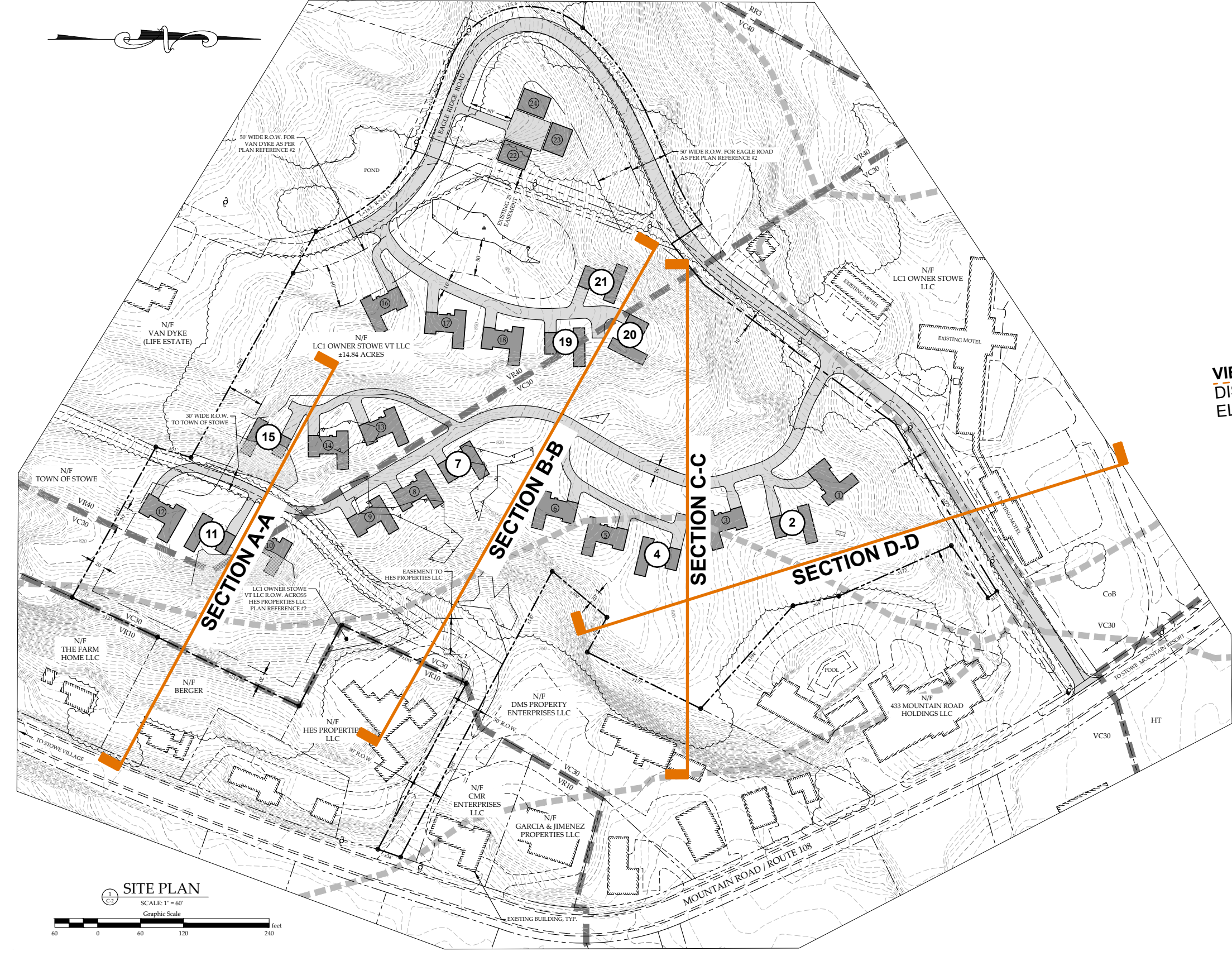
SHEET TITLE

ENLARGED SAMPLE
 SITE PLAN

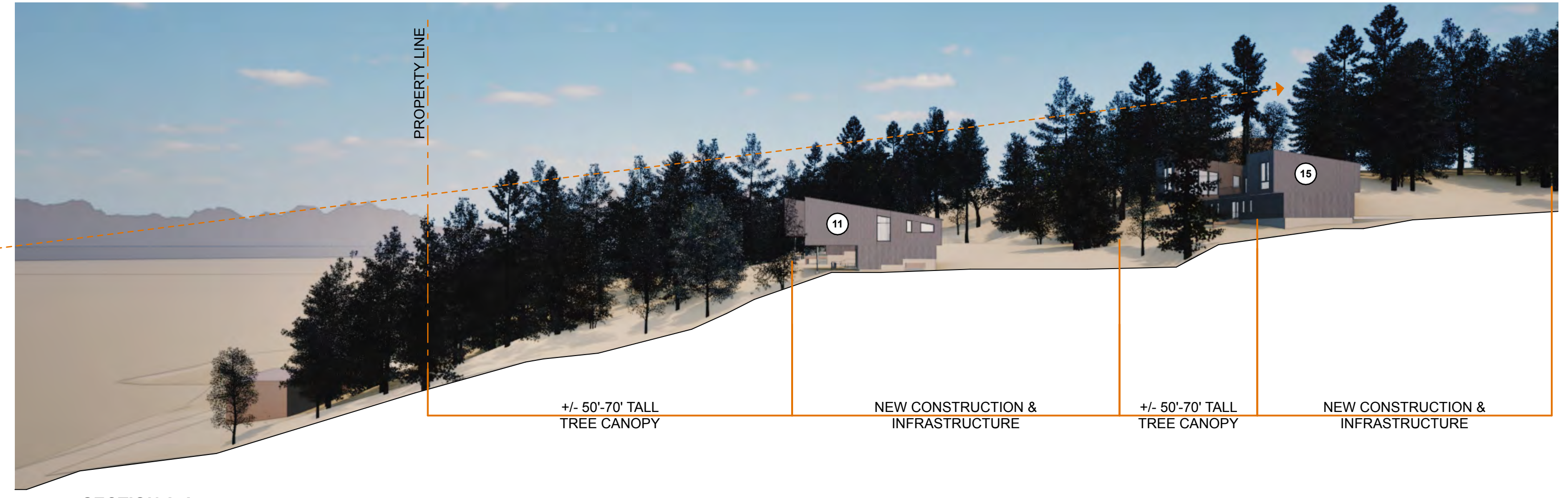
SHEET INFORMATION

L 2-00
 NOT FOR CONSTRUCTION





VIEW FROM STOWE COMMUNITY CHURCH
 DISTANCE: +/- 1,780 FEET
 ELEVATION CHANGE: +/- 220 FEET



VIEW FROM STOWE COMMUNITY CHURCH
 DISTANCE: +/- 1,960 FEET
 ELEVATION CHANGE: +/- 195 FEET



VIEW FROM QUIET PATH PARKING LOT
 DISTANCE: +/- 1,920 FEET
 ELEVATION CHANGE: +/- 220 FEET



PRELIMINARY
 NOT FOR CONSTRUCTION

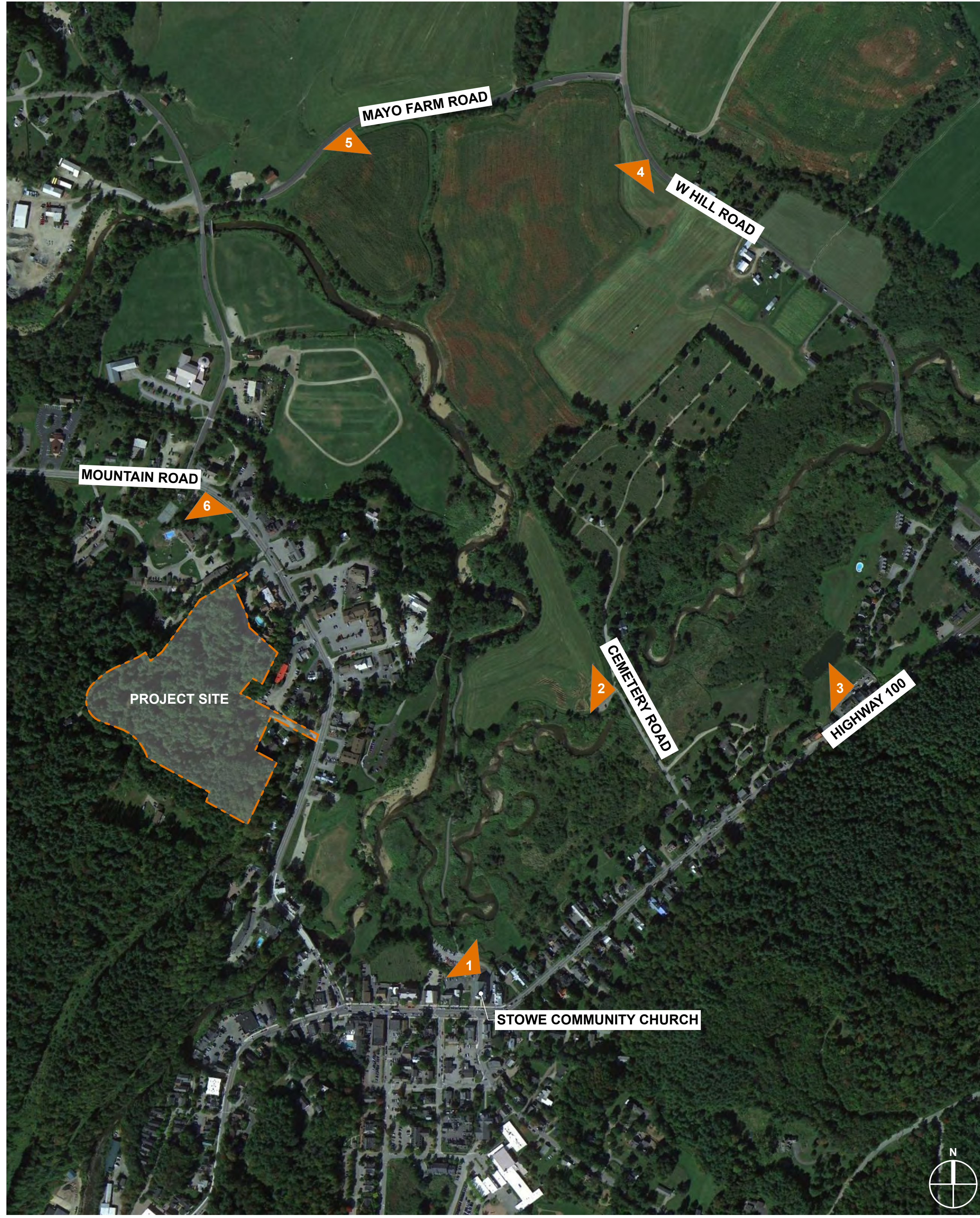
ISSUE NUMBER	ISSUE NAME	CHANGES THIS ISSUE
01	01 PRELIMINARY SET	DESCRIPTION

ISSUE NUMBER	DATE	SUBMISSIONS:
01	6/28/24	DATE OF ISSUE: 8/15/24

ISSUE NUMBER	DATE	ISSUE	DESCRIPTION
01	6/28/24	01	01 PRELIMINARY SET

CONSULTANT:	WIS PROJECT LEAD:
WOODHULL	Jason Jirala

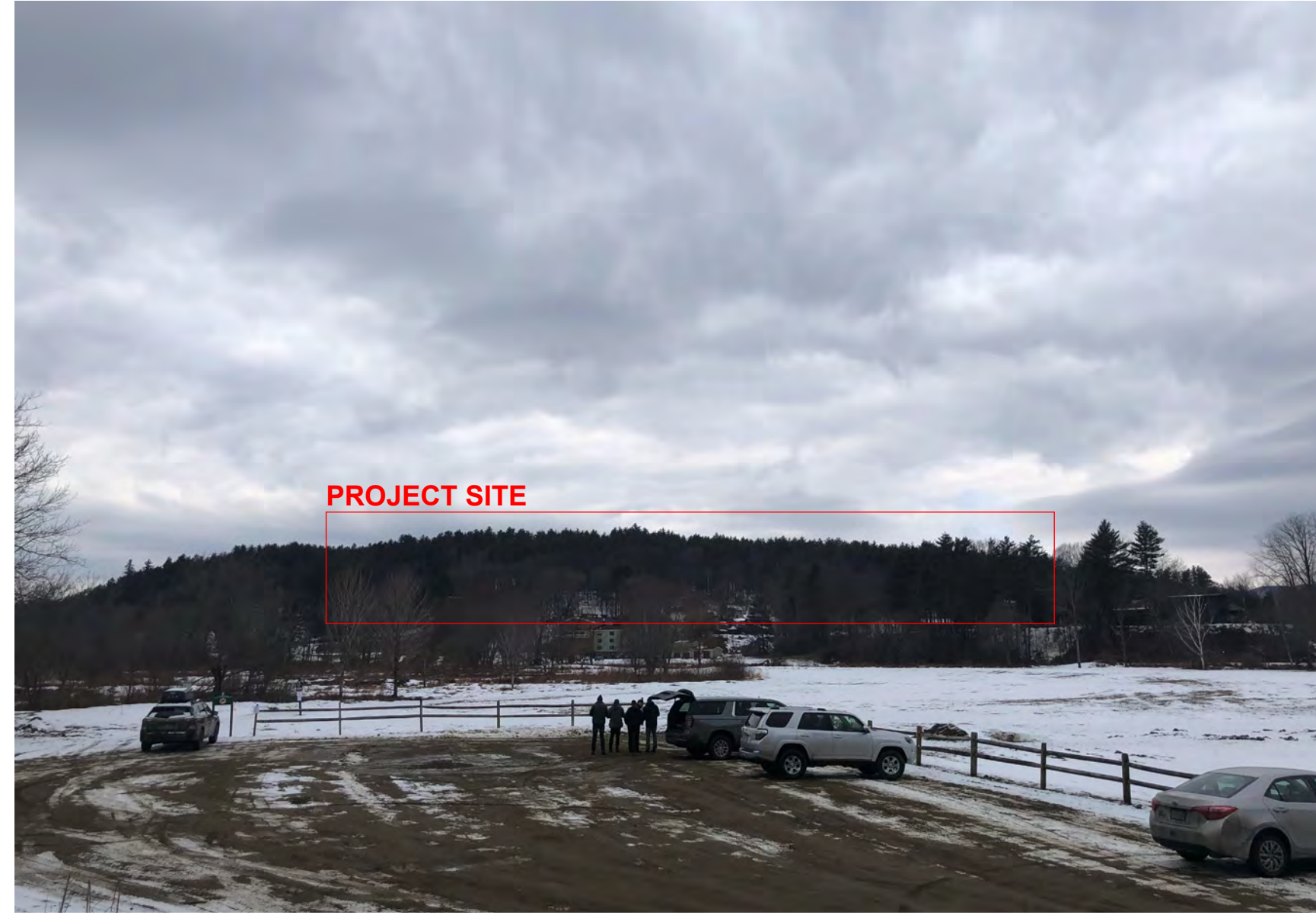
PROJECT STATUS:
Schematic Design



KEY MAP



1 | STOWE COMMUNITY CHURCH PARKING LOT
(VIEWPOINT REFERENCE FOR SECTIONS A-A & B-B ON A-910)

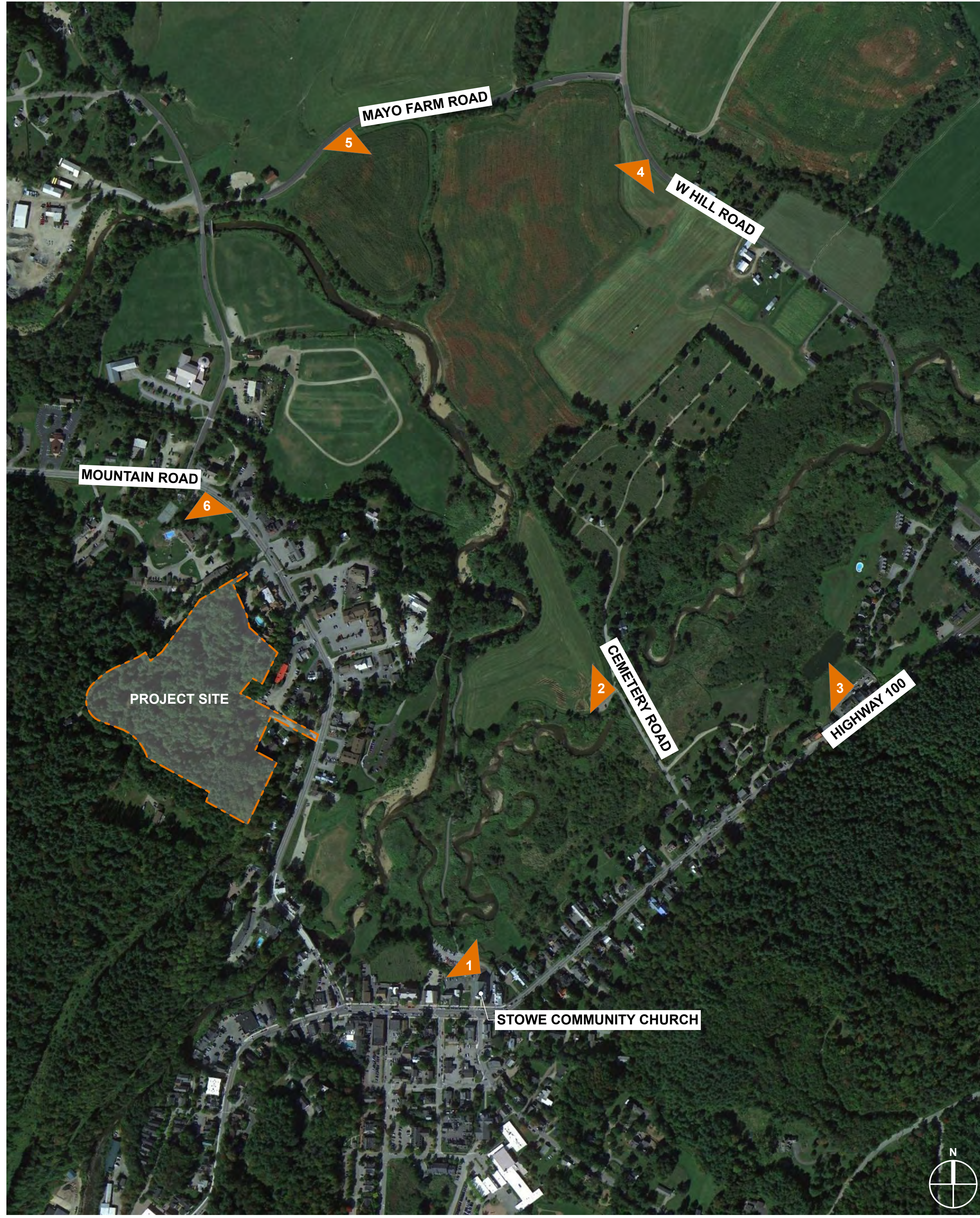


2 | CEMETERY ROAD
(VIEWPOINT REFERENCE FOR SECTIONS C-C ON A-910)



3 | HIGHWAY 100





KEY MAP



4 | W HILL ROAD



5 | MAYO FARM ROAD



6 | MOUNTAIN ROAD
(VIEWPOINT REFERENCE FOR SECTIONS D-D ON A-910)



CHANGES THIS ISSUE:	ID	DESCRIPTION

PRELIMINARY
NOT FOR CONSTRUCTION