

Development Application
Town of Stowe Planning & Zoning Department
 PO Box 730
 Stowe, VT 05672
 Telephone: (802) 253-6141

| |
|--------------------------------------|
| Project # (To be assigned) |
| Date Received: |

This form serves as an application for all requested zoning and subdivision reviews.

Property Owner Information

| | | |
|---|--|----------------------------|
| Property Owner | Norene and David Farr | |
| Mailing Street Address City, State and Zip | 2060 Robinson Springs, Stowe, VT 05676 | |
| Telephone Number | 603-287-8187 | Email nfarr@haigh-farr.com |

Applicant Information (Relationship to Owner)
 Owner (If so, skip to property information) Lessee Contractor
 Architect/Designer Agent for Owner Under purchase contract
All information and correspondence is sent to applicant/contact.

| | |
|---|-------------------------------------|
| Applicant Name Company (if any) | Volansky Studio |
| Mailing Street Address City, State and Zip | 135 Luce Hill Road, Stowe, VT 05672 |
| Phone Number | 802-255-0980 |
| Email | andrew@volanskystudio.com |

Property Information & Location

| | | |
|------------------|---|--------------------------------------|
| Physical Address | 2060 Robinson Springs Road, Stowe, VT 05672 | |
| Tax Map ID | 15-042.490 | |
| Existing Use | Single Family Residence | Proposed Use Single Family Residence |

Please briefly describe the proposed project, intended use, and/or development request below:

The project is an addition onto an existing main level master bedroom & an existing lower level bunkroom. The existing master bedroom deck will be rebuilt and a balcony will be added to an existing upper level bedroom. The architectural design will match the existing house style. Exterior materials and lighting are to match the style and finish of the existing house. Sitework will include rebuilding stone walls and steps to match existing conditions. Landscape and hardscape design and materials are to match the style and finish of the existing site.

For All Approvals:
 The below signed hereby agrees that the proposed work shall be done in accordance with the application, plan, specifications, and other associated documentation and that the work shall conform to all applicable town ordinances and regulations. Signing as an "Agent for Owner" indicates that the person signing has the permission of the owner to act on the owner's behalf. Additional permits may be needed from the State of Vermont and/or the Town of Stowe for development.

| | |
|---|---|
| Indicate if: <input checked="" type="checkbox"/> Property Owner OR <input type="checkbox"/> Agent for Owner | Signature: Norene Farr <small>Digitally signed by Norene Farr Date: 2023.08.08 09:47:21 -04'00'</small> |
| | Date: _____ |

Additional application information is required on reverse side: ➔

Note: Local Zoning approval does not cover any required state approvals. Wastewater System and Potable Water Supply permits may be required for construction or modifications that change the wastewater flow. Other State permits may be required for certain uses. The applicant is advised to contact a DEC Permit Specialist to discuss the State permit requirements at 802-505-5367.

Construction Information

A site plan showing the proposed development is required if construction is involved.
The applicant is responsible for determining property lines and setbacks.

Please answer the questions below for all projects:

| | |
|---|---|
| Will there be a new curb cut (driveway opening)? | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Will over 1/2 acre of land be graded or disturbed? | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Will the development create an additional 1/2 acre of impervious surface? | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Will there be other changes resulting in increased sewer or water flows? | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Will there be a new connection to the Stowe sewage system? | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Will there be a new connection to the Stowe water system? | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Is any portion of the building rented out? | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Is an Act 250 permit or amendment required? | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |

Maximum Bldg. Height: _____ * Building Height is defined as the vertical distance measured from the average elevation of the proposed finished grade at the front or rear of the building to the highest point of the roof for flat and mansard roofs, and to the average height between eaves and ridge for other types of roofs. On sloping sites the height will be measured on the uphill side.

Please answer the questions below for all projects involving residential dwellings:

| | | | |
|-----------------|----------------|---------------|---------------|
| Existing Rooms: | # Bathrooms: 7 | # Bedrooms: 5 | # Kitchens: 1 |
| New Rooms: | # Bathrooms: 7 | # Bedrooms: 5 | # Kitchens: 1 |

Please complete the fee calculation below for all applications:

| Zoning Permit Fees - Single & Two-Family Dwellings (Permitted Uses) | Fee/Sq. Ft. | Fee Required |
|---|-------------|--------------|
| Enclosed building spaces per sq. ft (heated & unheated) 406 SF | \$0.30 | \$121.80 |
| Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.) 467 SF | \$0.10 | \$46.10 |
| Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure | \$60.00 | |
| Minimum application fee for Single & Two-Family Dwellings/Permitted Uses | \$60.00 | |
| Fee: | | \$ |
| Zoning Permit Fees - Conditional Uses (Commercial & Multi-Family Uses) | Fee/Sq. Ft. | Fee Required |
| Enclosed building spaces per sq. ft (heated & unheated) | \$0.40 | |
| Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.) | \$0.25 | |
| Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure | \$100 | |
| Administrative amendment by Zoning Administrator | \$75.00 | |
| Fee: | | \$ |
| Development Review & Public Hearing Fees | Fee/Sq. Ft. | Fee Required |
| Appeal of Action of Zoning Administrator | \$250.00 | |
| Variance or Dimensional Waiver | \$250.00 | |
| Conditional Use Review | \$250.00 | |
| Ridgeline & Hillside Overlay District (RHOD) Review | \$250.00 | \$250.00 |
| Design Review (Single-Family & Two-Family Dwelling) | \$60.00 | |
| Design Review (All other uses except Single-Family & Two-Family Dwelling) | \$250.00 | |
| Subdivision Review (includes PRD's & PUD's) | | |
| Preliminary Layout Application (base fee) | \$250.00 | |
| Preliminary Layout (fee per unit or lot if equal to and/or more than 5 lots/units) | \$275.00 | |
| Final Plat Application (base fee) | \$250.00 | |
| Final Plat Application (additional fee per unit or lot if preliminary layout was not required) | \$150.00 | |
| Minimal Alteration reviewed by Zoning Administrator | \$100.00 | |
| Other subdivision applications/amendments requiring DRB approval | \$250.00 | |
| Fee: | | \$ |
| Signs | \$70.00 | |
| Fee: | | \$ |
| Recording Fees /Stowe Land Records (set by state law) | | |

| | | |
|--|---------------|------------------|
| Additional Recording Fee for decision notice | \$15.00/page | \$ 15.00 |
| Additional Recording Fee for permit | \$15.00/page | \$ 15.00 |
| Additional Recording Fee for Mylar | \$25.00/sheet | \$ |
| Total Application Fee Including Recording | | \$ 447.90 |

Payments should be made to the Town of Stowe. Payment can be made by cash, check, or with a credit card (Mastercard, Visa or Discover) or online. Go to www.townofstovevt.org/townclerk/ and [click the link for online payments](#). Please note there is a 3% convenience fee for credit card payments.

Incomplete applications will be returned. A complete application must include a site plan, elevation drawings, and floorplans. See application checklists for additional guidance.

OFFICE USE ONLY

Date Received _____

Zoning District _____

Overlay District _____

Approved Date _____

Effective Date _____

Expiration Date _____

Denied Date _____

Reason _____

| | |
|------------------|----|
| Permit Fee | \$ |
| Recording Fee | \$ |
| TOTAL FEE | \$ |

Check #

Cash

Referred _____

Hearing Date _____

Comments/Conditions

Zoning Administrator

Date

For assistance, please contact the Planning & Zoning Department of 253-6141 or by email at PandZ@stovevt.gov

The Town of Stowe welcomes all persons, regardless of race, color, religion, national origin, sex, gender identity or expression, family status, age, or ability, and wants everyone to feel safe and welcome in our community. As a town, we formally condemn discrimination in all its forms, commit to fair and equal treatment of everyone in our community, and will strive to ensure all of our actions, policies, and operating procedures reflect this commitment. The Town of Stowe has and will continue to be a place where individuals can live freely and express their opinion.

GENERAL CONDITIONS

- DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED UNDER COMMON LAW COPYRIGHT PROVISIONS. THEY ARE NOT TO BE REUSED EXCEPT BY WRITTEN AGREEMENT AND WITH THE AGREED COMPENSATION TO THE ARCHITECT. IF REUSED WITHOUT PERMISSION, THE ARCHITECT SHALL BE INDEMNIFIED AND HELD HARMLESS FROM ALL LIABILITY, LEGAL EXPENSE, CLAIMS, DAMAGES, LOSSES AND EXPENSES. DRAWINGS SHALL NOT BE USED FOR A MULTIPLE OR PROTOTYPE DEVELOPMENT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THESE DRAWINGS OR FROM WRITTEN RECOMMENDATIONS. CHANGES TO THE PLAN BY THE OWNER AND / OR CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE OWNER AND / OR CONTRACTOR SHALL HOLD THE ARCHITECT HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES & EXPENSES INCLUDING, BUT NOT LIMITED TO, ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHANGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OF OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR FOR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- OBTAINING THE CERTIFICATE OF OCCUPANCY FROM LOCAL JURISDICTION AS REQUIRED BY PERMITTING PROCESS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR
- FILING A CERTIFICATE OF COMPLIANCE WITH THE STATE OF VERMONT & LOCAL ZONING OFFICE REGARDING COMPLIANCE WITH ADOPTED ENERGY CODES AS PER THE DEPARTMENT OF ENERGY CODES PROGRAM SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE CONTRACTOR SHALL, WITHOUT DELAY AND PRIOR TO FABRICATION OR INSTALLATION, BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES BETWEEN THE MANUFACTURER'S SPECIFICATIONS OR RECOMMENDATIONS AND THE CONTRACT DOCUMENTS. UNAUTHORIZED CHANGES TO PLANS BY THE OWNER AND / OR CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSION SHALL GOVERN. GENERAL CONTRACTOR TO CALL THE ARCHITECT IF DISCREPANCIES ARE FOUND.
- THE GENERAL CONTRACTOR SHALL MAINTAIN THE SITE AND BUILDINGS TO BE CLEAN AND SAFE AT ALL TIMES. UNSAFE AREAS ARE TO BE CLEARLY MARKED AND APPROPRIATELY BARRICADED. MATERIALS AND WORK IN PLACE SHALL BE PROTECTED FROM WEATHER AND VANDALS.
- IF THE SCOPE OF THE WORK SHOULD EXPAND BEYOND THE WORK DESCRIBED ON THESE DRAWINGS, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM THE OWNER AND RECEIVE AUTHORIZATION TO PERFORM THE ADDED WORK. THIS NOTIFICATION AND AUTHORIZATION MUST BE MADE BEFORE PROCEEDING WITH THE ADDITIONAL WORK.
- REMOVE AND LEGALLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS.
- PROVIDE A PORTABLE TOILET FOR USE BY ALL WORKERS ASSOCIATED WITH THE PROJECT. SERVICE THE TOILET WEEKLY.
- NO SMOKING IS PERMITTED IN THE BUILDING. DISPOSE OF CIGARETTE BUTTS AND OTHER TRASH PROPERLY.
- PROTECT ALL WORK IN PLACE, MATERIALS STORED ON SITE, AND SITE FEATURES. MAINTAIN THE BUILDING SECURE AT ALL TIMES.
- UNFORESEEN CONDITIONS:** SHOULD UNFORESEEN CONDITIONS BE ENCOUNTERED THAT AFFECT DESIGN OR FUNCTION OF THE PROJECT, THE CONTRACTOR SHALL INVESTIGATE FULLY AND SUBMIT AN APPROPRIATE DETAILED REPORT TO THE ARCHITECT WITHOUT DELAY. WHILE AWAITING A RESPONSE, CONTRACTOR SHALL RESCHEDULE OPERATIONS AS REQUIRED TO AVOID DELAY OF OVERALL PROJECT WHEN POSSIBLE.
- SUBMITTAL NOTE:** SUBMITTALS ARE REVIEWED FOR CONFORMANCE WITH DESIGN INTENT AND GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS ONLY. NOTATIONS DO NOT AUTHORIZE CHANGES TO CONTRACT SUM, CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES, DIMENSIONS, FIELD VERIFICATION, FABRICATION METHODS, COORDINATION, AND MEANS AND METHODS.
- RECORD DRAWINGS:** THE CONTRACTOR SHALL PREPARE AND MAINTAIN A COMPLETE SET OF RECORD CONSTRUCTION DRAWINGS INDICATING ALL ACTUAL WORK, MODIFICATION AND REVISIONS TO THE WORK DELINEATED ON THE CONSTRUCTION DRAWINGS AS WELL AS ANY CONCEALED CONSTRUCTION WORK. INCLUDE ALL OTHER INFORMATION WHICH WOULD BE HELPFUL TO THE OWNER.

AIR SEALING SPECIFICATIONS

AIR SEALING STANDARDS/GOALS

DESIGN REQUIREMENTS:
PROVIDE AN AIR SEALING SYSTEM OF ENTIRE BUILDING ENVELOPE INCLUDING ROOF, ALL FLOOR AND WALLS.

PERFORMANCE REQUIREMENTS

AIR LEAKAGE THROUGH AIR SEALING SYSTEM: NOT TO EXCEED 2 ACH AT 50 PA PRESSURE DIFFERENTIAL FROM THE INSIDE TO THE OUTSIDE.

QUALITY ASSURANCE

TESTING AGENCY: QUALIFIED; ENGAGED BY THE GENERAL CONTRACTOR.
PRE-INSTALLATION CONFERENCE: AIR SEALING SYSTEM INSTALLERS, INCLUDING ENTITIES LISTED BELOW. INCLUDE REVIEW OF INSTALLATION, CONTINUITY, SEALING AND TESTING REQUIREMENTS FOR AIR SEALING SYSTEM. PREPARE AN AIR SEALING SEQUENCING PLAN WHICH OUTLINES SEQUENTIAL STEPS BY ALL ATTENDEES TO MEET REQUIREMENTS.

- CONTRACTOR'S AIR SEALING COORDINATOR/SUPER-INTENDANT
- BUILDING WRAP INSTALLER
- ROOFING INSTALLER
- BUILDING INSULATION INSTALLER
- WINDOW AND DOOR INSTALLER
- JOINT SEALANT INSTALLER
- SIDING INSTALLER
- TESTING AGENCY REPRESENTATIVE

TWO BLOWER DOOR TESTS WILL BE CONDUCTED AS PART OF THE CONTRACTUAL AGREEMENT TO DETERMINE THE ADEQUACY OF AIR-TIGHT CONSTRUCTION. THE TEST WILL OCCUR AT THE STAGE WHEN THE BUILDING IS TOTALLY ENCLOSED, INSULATED AND AIR BARRIER INSTALLED BUT BEFORE ANY INTERIOR TRIM WORK OR FINISH FLOORS HAVE BEEN INSTALLED. THE CONTINUOUS AIR BARRIER MUST BE IN PLACE. ONCE THE INITIAL BLOWER DOOR TEST IS COMPLETE, THE CONTRACTOR AND TESTING AGENCY WILL DISCUSS REMEDIAL/ADDITIONAL AIR SEALING WORK NECESSARY TO ACHIEVE THE STANDARDS AS OUTLINED IN THIS SECTION. A SECOND BLOWER DOOR TEST SHALL BE PERFORMED AT JOB SUBSTANTIAL COMPLETION TO VERIFY COMPLIANCE. IF AFTER THE SECOND BLOWER DOOR TEST THE BUILDING FAILS TO ACHIEVE THE STANDARDS AS OUTLINED IN THIS SECTION, THE CONTRACTOR WILL BE REQUIRED TO MAKE ONGOING ENVELOPE IMPROVEMENTS AND A THIRD (AND ANY ADDITIONAL) BLOWER DOOR TESTS WILL BE CONDUCTED AT THE CONTRACTOR'S EXPENSE.

FIELD QUALITY CONTROL

- CONTRACTOR SHALL COMPLETE THE FOLLOWING BEFORE TESTING:
- ENSURE THE AIR SEALING SYSTEM IS COMPLETE INCLUDING BUILDING WRAP, VAPOR BARRIER, RIGID INSULATION, AND PERMANENT PENETRATIONS INSTALLED (INCLUDING WINDOWS AND DOORS, MECHANICAL, ELECTRICAL AND OTHER EQUIPMENT) INSTALLED.
 - PERMANENT ROOFING.
 - BUILDING INSULATION.
 - SEAL OPENINGS IN MECHANICAL SYSTEMS WITH POLYETHYLENE SHEETING AND TAPE OR AS DIRECTED BY THE TESTING AGENCY INCLUDING:
 - VENTILATION INTAKE AND EXHAUST
 - PLUMBING STACKS AND VENTS
 - OUTDOOR LOUVERS

- SEAL HOLES IN EXTERIOR DOORS WHERE HARDWARE IS NOT YET INSTALLED.
- CLOSE AND LATCH WINDOWS AND DOORS.
- SEAL OTHER OPENINGS PERMITTED BY TESTING AGENCY THAT ARE INTENTIONAL AND WILL BE PERMANENTLY CLOSED OFF WHEN CONSTRUCTION IS COMPLETE AND THE BUILDING IS FULLY OCCUPIED.
- ENSURE MECHANICAL AND COMBUSTION SYSTEMS ARE OFF AND NOT OPERATING.

CONTRACTOR'S RESPONSIBILITIES: DURING TESTING

- CORRECT AIR SEALING SYSTEM WHICH DOES NOT COMPLY WITH REQUIREMENTS DURING TESTING. PROVIDE MATERIALS AND LABOR AS REQUIRED TO PERFORM CORRECTION DURING TESTING.
- PROVIDE TEMPORARY ELECTRICAL POWER FOR TESTING AGENCIES EQUIPMENT.
- AVOID THE NECESSITY TO CUT AND PATCH IN PLACE PERMANENT CONSTRUCTION AS REQUIRED TO CORRECT AIR SEALING SYSTEM.
- PROVIDE EQUIPMENT INCLUDING SCAFFOLDING, LADDERS, LIFTS, OR OTHER MEANS APPROVED BY TESTING AGENCY TO ALLOW SPOTTERS AND TESTERS ACCESS TO SURFACES OF THE VOLUMES BEING TESTED, INCLUDING EXTERIOR WALL SURFACES, INTERIOR CEILING-WALL JUNCTIONS, INTERIOR ROOF-WALL JUNCTIONS, AND CEILING AND ROOF PENETRATIONS

GRAPHIC SYMBOLS

NORTH AREA
MAGNETIC NORTH
UNLESS NOTED OTHERWISE

BUILDING SECTION
SECTION I.D. _____
SHEET NUMBER _____

WALL SECTION
SECTION NUMBER _____
SHEET NUMBER _____

DETAIL REFERENCE
DETAIL NUMBER _____
SHEET NUMBER _____

LARGE AREA DETAIL REFERENCE
DETAIL NUMBER _____
SHEET NUMBER _____

GRID REFERENCE
STRUCTURAL COLUMN GRID
LAYOUT REFERENCE

WALL TAG

DRAWING TITLE REFERENCE
REFERENCE NUMBER
DRAWING TITLE

SCALE

DOOR REFERENCES
GLASS DOOR UNIT NUMBER
DOOR NUMBER

WINDOW REFERENCES
WINDOW UNIT I.D.

INTERIOR ELEVATION REFERENCES
ELEVATION INDICATOR,
WALL PLANE(S)

ELEVATION DATUM
MAIN LVL TO SUBFLOOR
EL. 100'-0"

REVISION INDICATOR
AREA REVISED
REVISION NUMBER
REVISION CHANGE

FINISH MATERIAL REFERENCE
ROOM NAME
MATERIALS
FLOOR
BASE TRIM
WALLS
CEILING

ROOM NAME
LIVING ROOM
MID GYP 9'-0" CEILING HGT



FARR RESIDENCE
STOWE ■ VERMONT

PROJECT TEAM

OWNER

NOREN AND DAVID FARR
2060 ROBINSON SPRINGS RD
STOWE, VERMONT

ARCHITECT

VOLANSKY STUDIO ARCHITECTURE & PLANNING
56 OLD FARM RD
STOWE, VERMONT
802-743-4999
WWW.VOLANSKYSTUDIO.COM

CONTRACTOR

BROTHERS BUILDING
5222 MAIN STREET
WAITSFIELD, VERMONT 05673
802-496-3916 (PH)
DERRICK@BROTHERSBUILDING.COM

STRUCTURAL ENGINEER

ARTISAN ENGINEERING
120 GRAHAM WAY SUITE 124
SHELburnE, VERMONT 05482
802-441-3531 (PH)

SITE AND CIVIL ENGINEERING

GRENIER ENGINEERING
P.O. BOX 445
WATERBURY, VERMONT 05676
802-244-6413 (PH)

INFORMATION TECHNOLOGY

ED O'BIN, HAIGH-FARR
603-541-8198 (PH), 603-818-0465 (CELL)

DRAWING LEGEND

ARCHITECTURAL DRAWING LEGEND

- A0.1 COVER SHEET
- A1.1 ARCHITECTURAL SITE PLAN
- A1.2 LANDSCAPE/HARDSCAPE PLAN
- A2.1 FLOOR PLANS
- A3.1 EXTERIOR ELEVATIONS
- A4.1 BUILDING SECTION

ELECTRICAL DRAWING LEGEND

MECHANICAL DRAWING LEGEND

INTERIOR ELEVATIONS

CIVIL ENGINEERING DRAWING LEGEND

- EX-1 EXISTING CONDITIONS PLAN

STRUCTURAL DRAWING LEGEND

ENERGY EFFICIENCY - AS PER EFFICIENCY VERMONT & U.S. DEPARTMENT OF ENERGY

| COMPONENT | BASE CODE PACKAGE 4 | STRETCH CODE PACKAGE 1 |
|------------------------------------|---|---|
| CEILING R-VALUE | R-60 ATTIC/R-41 SLOPED CLR | R-60 ATTIC/R-41 SLOPED CLR |
| ABOVE GRADE HALL R-VALUE | R-20 CAVITY | R-20 CAV. + R-5 CONT. OR R-13 CAV. + R-10 CONT. |
| FLOOR R-VALUE (CANTILEVERED) | R-38 CAVITY | R-30 CAVITY |
| BASEMENT/CRANE SPACE HALL R-VALUE | R-20 CONT. OR R-13 CAV. + 10 CONT. | R-20 CONT. OR R-13 CAV. + 10 CONT. |
| SLAB EDGE R-VALUE | R-15, 4" OR R-10 PERIMETER + R-15 UNDER ENTIRE REST OF SLAB | R-15, 4" OR R-10 PERIMETER + R-15 UNDER ENTIRE REST OF SLAB |
| HEATED SLAB R-VALUE (EDGE & UNDER) | R-15 CONTINUOUS | R-15 CONTINUOUS |
| WINDOW AND DOOR U-VALUE | U-0.28 MAX. | U-0.28 MAX. |
| SKYLIGHT U-VALUE | U-0.35 MAX. | U-0.35 MAX. |
| MAXIMUM AIR LEAKAGE | ≤ 3.0 ACH50 (BLOWER DOOR TEST) | ≤ 3.0 ACH50 (BLOWER DOOR TEST) |
| MAXIMUM DUCT LEAKAGE | INSIDE THERMAL BOUNDARY | INSIDE THERMAL BOUNDARY |
| HEATING SYSTEM ARIE | N/A | ENERGY STAR (55% BLR/ 10% PUR) |
| COOLING SYSTEM SEER | N/A | ENERGY STAR (55% BLR/ 10% PUR) |

ResCheck RESULTS

TO BE DETERMINED/VERIFIED DURING CD PHASE

REVISION KEY

| REV. # | REV. DATE |
|--------|------------|
| △ | DD MM YYYY |
| ▽ | DD MM YYYY |
| ◇ | DD MM YYYY |
| △ | DD MM YYYY |
| ▽ | DD MM YYYY |
| ◇ | DD MM YYYY |
| △ | DD MM YYYY |
| ▽ | DD MM YYYY |
| ◇ | DD MM YYYY |

REVOLUTIONS & ADDITION

date

REVISIONS

date

volansky Architecture & Planning studio

STOWE VERMONT 05672 WWW.VOLANSKYSTUDIO.COM

135 LUCE HILL ROAD STOWE VERMONT 05672 802.743.4999

FARR RESIDENCE

2060 ROBINSON SPRINGS ROAD STOWE VERMONT

Date 8 AUG 2023

Scale AS NOTED

Drawn BC / AC

Job 2212

Sheet

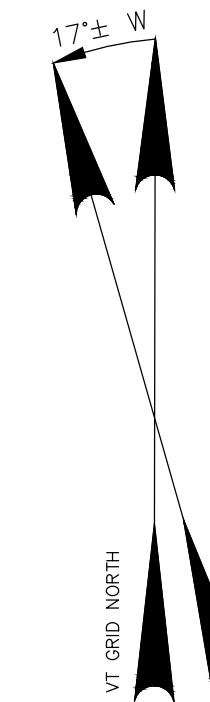
AO.1

THESE DRAWINGS HAVE BEEN DEVELOPED BY VOLANSKY STUDIO ARCHITECTURE & PLANNING FOR THE TITLED SET ONLY. THE DRAWINGS ARE THE SOLE PROPERTY OF VOLANSKY STUDIO AND THEY SHALL NOT BE USED, LENT, COPIED OR ALTERED WITHOUT THE WRITTEN CONSENT OF VOLANSKY STUDIO

FULL SCALE ON 24" X 36" PAPER
HALF SCALE ON 12" X 18" PAPER

COVER

2060 ROBINSON SPRINGS ROAD
 DAVID P. FARR
 REVOCABLE TRUST
 4.42 ACRES
 TAX MAP #15-042.490



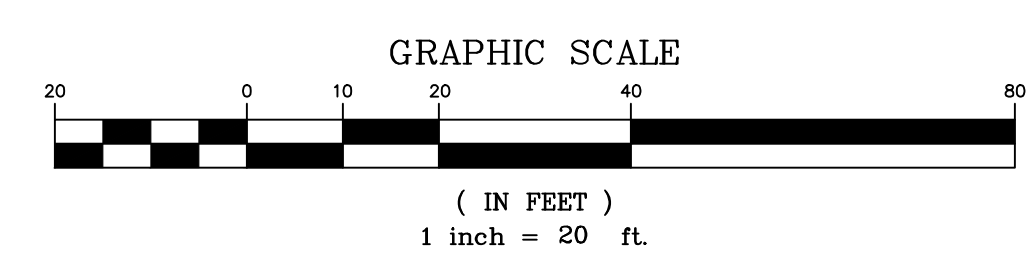
ZONING TABLE
 ZONING DISTRICT: RR5/RHOD
 FRONTYARD SETBACK: 70'
 SIDEYARD SETBACK: 75'
 REARYARD SETBACK: 75'
 MAX. HEIGHT: 28'

RHOD NOTE:
 STOWE RIDGELINE AND HILLSIDE OVERLAY
 DISTRICT REQUIRES TOWN PERMIT
 FOR PRE-APPROVAL BEFORE ANY SITE
 CLEARING IS INITIATED

THIS IS NOT A BOUNDARY SURVEY
 PROPERTY LINES SHOWN ARE APPROXIMATE ONLY
 AND WERE NOT SURVEYED BY THIS OFFICE. THEY
 ARE BASED ON A PREVIOUS MAP BY LITTLE RIVER
 SURVEY COMPANY AND SOME EVIDENCE FOUND IN
 THE FIELD.

LEGEND

| | |
|--|----------------------|
| | SURVEY CONTROL POINT |
| | IRON PIN/ROD FOUND |
| | DRILLED WELL |
| | PROPERTY LINE |
| | ZONING SETBACK LINE |
| | EDGE OF ROAD/DRIVE |
| | EDGE OF WATER/POND |
| | STONEWALL |
| | LEDGE |
| | EX. LP GAS LINE |
| | EX. CONTOURS |



DATUM:
 THE CONTOURS AND BENCHMARK ON THIS PLAN ARE
 BASED UPON GPS DERIVED ELEVATIONS OBSERVED
 ON SITE ON 7/12/21 AND ARE ON THE NAVD 88 DATUM.

NOTE: ORIGINAL PLAN 24" x 36". OTHER SIZES NOT TO SCALE

| No. | Date | Revision | By |
|-----|------|----------|----|
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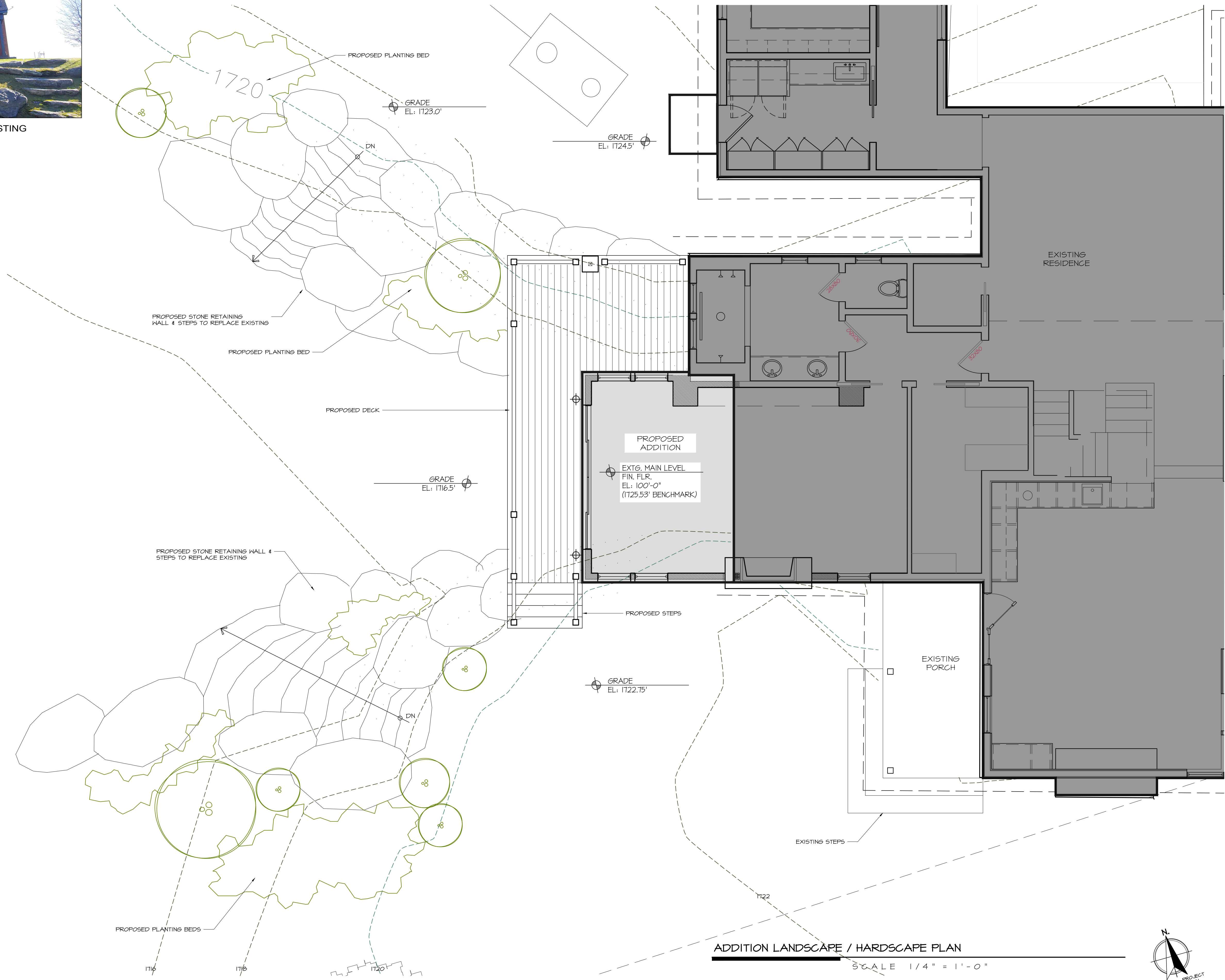
EXISTING CONDITIONS PLAN
NOREEN & DAVID FARR

2060 ROBINSON SPRINGS STOWE

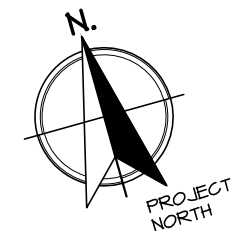
| | |
|---|---|
| GRENIER ENGINEERING, PC 155 DEMERITT PLACE #2 P.O. Box 445 Waterbury, VT 05676 TEL (802) 244-6413 FAX (802) 244-1572 grenierengineering.com | Date: 8.06.21 Scale: 1" = 20' Designed: JAD/TJM Drawn: JAD/TJM Checked: JAD/TJM Sheet No: EX-1 |
|---|---|



PROPOSED WALLS, STEPS & PLANTING BEDS TO MATCH EXISTING



ADDITION LANDSCAPE / HARDSCAPE PLAN

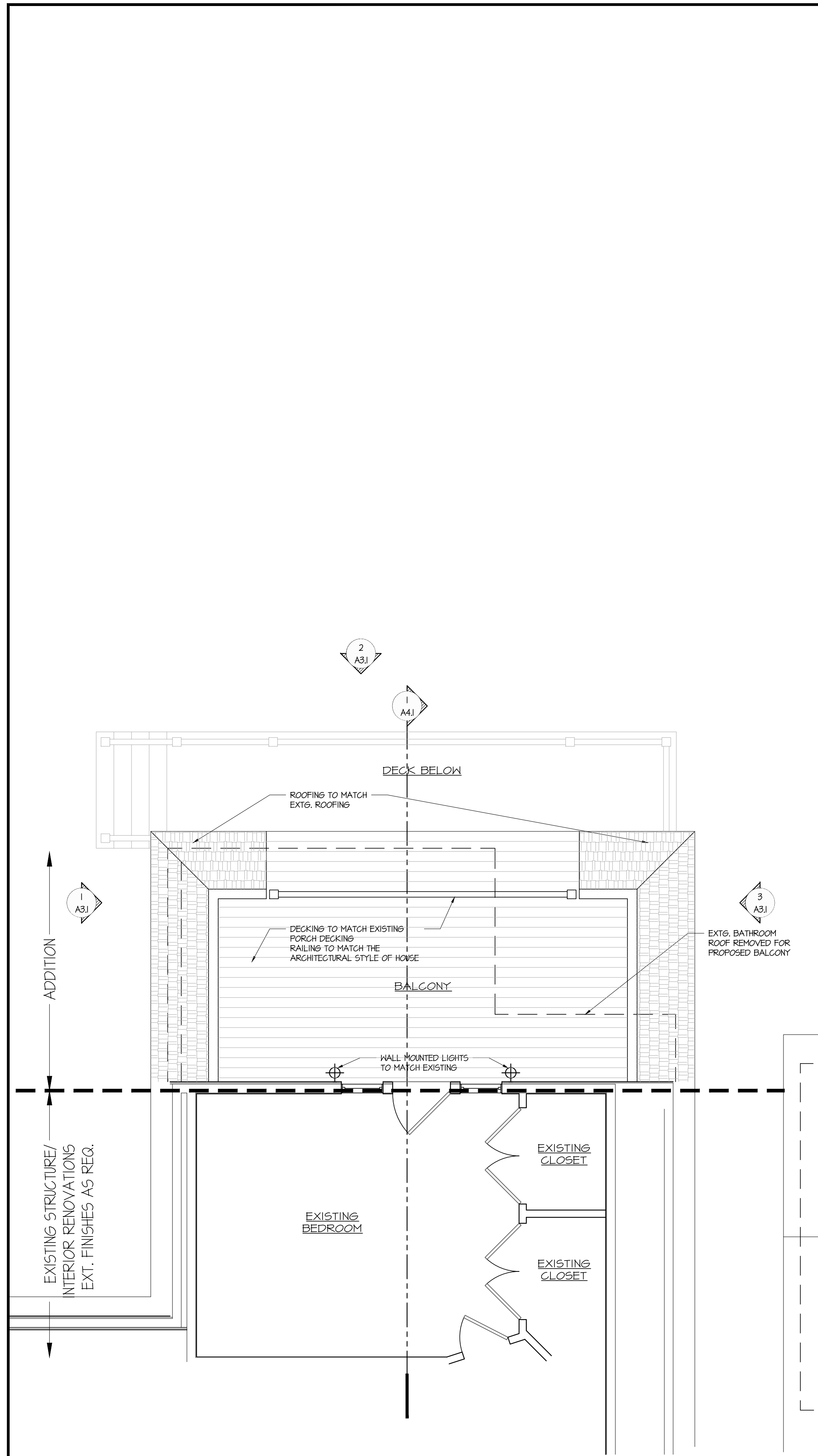


FULL SCALE ON 24" X 36" PAPER
HALF SCALE ON 12" X 18" PAPER

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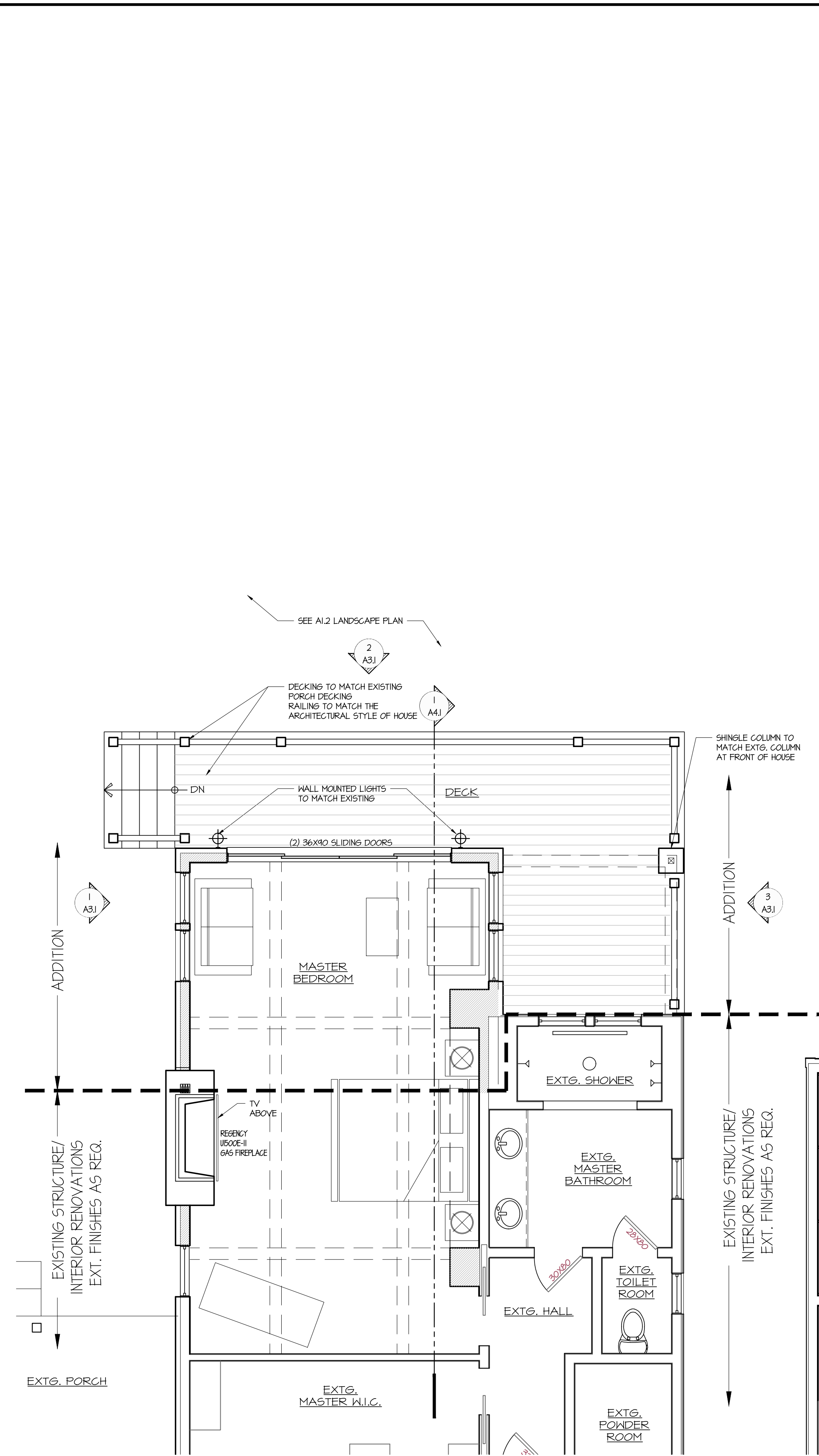
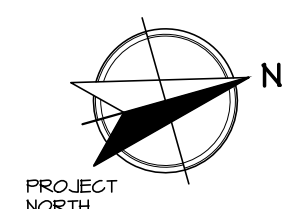
RHOD ARCHITECTURAL REVIEW SET

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| Date | 8 AUG 2023 | |
| Scale | AS NOTED | |
| Drawn | BC / AC | |
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| Sheet | A1.2 | |



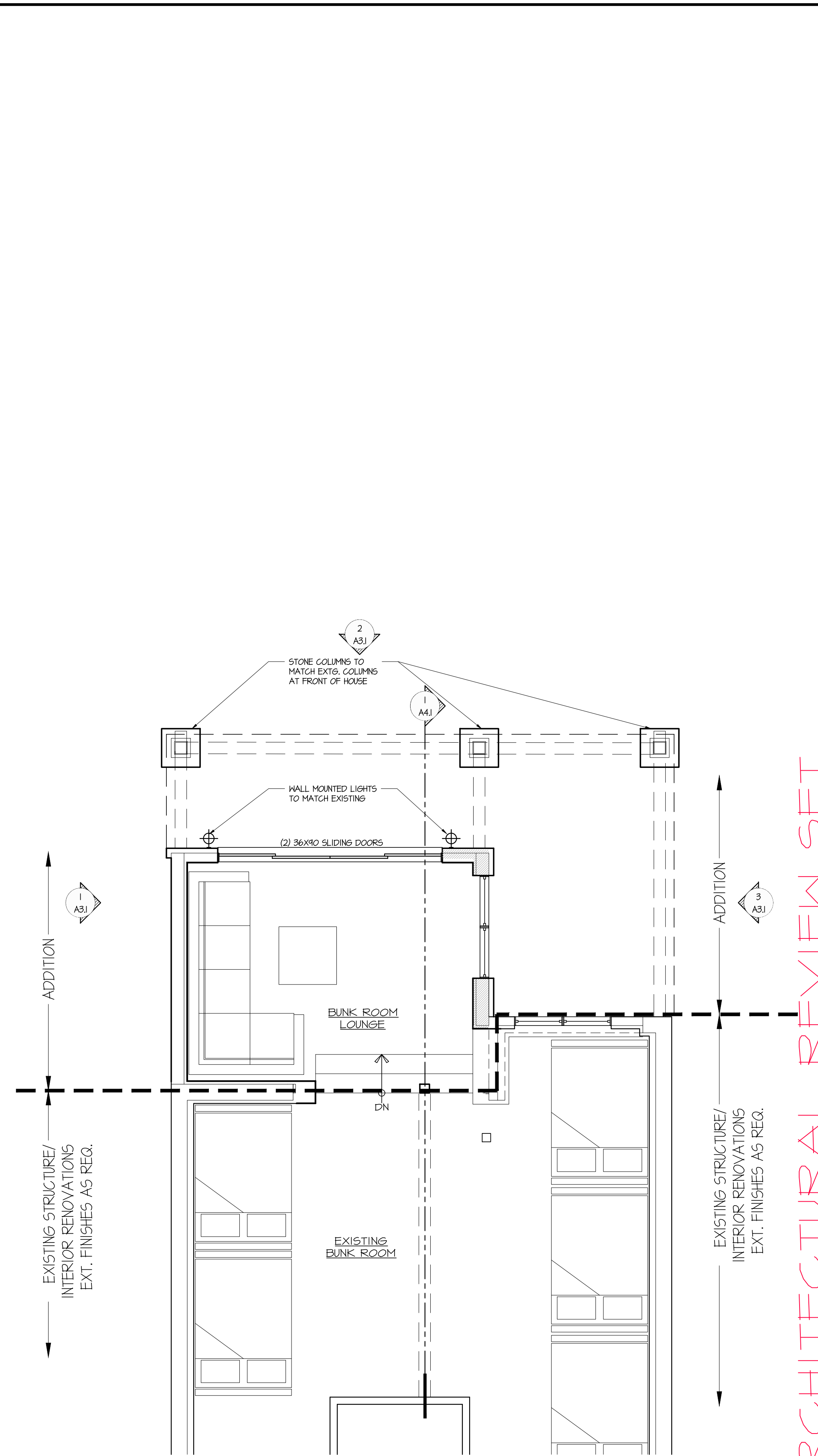
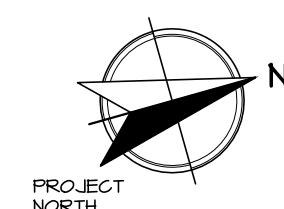
3 - UPPER LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"



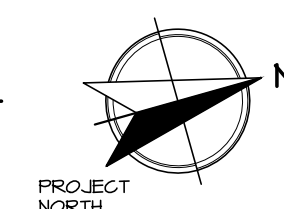
2 - MAIN LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"



1 - LOWER LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"



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FLOOR PLANS

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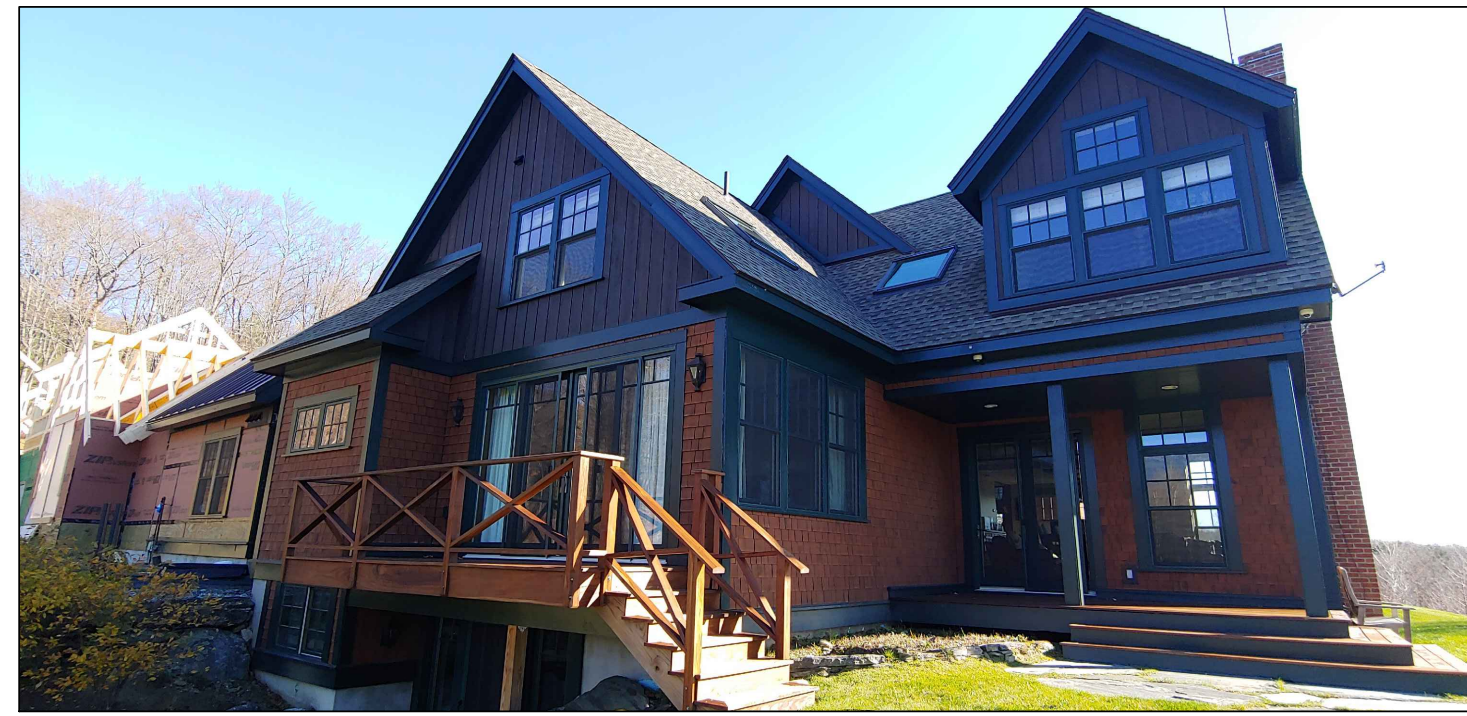
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 Drawn **BC / AC**
 Job **2212**
 Sheet **A2.1**



CONCEPTUAL RENDERING



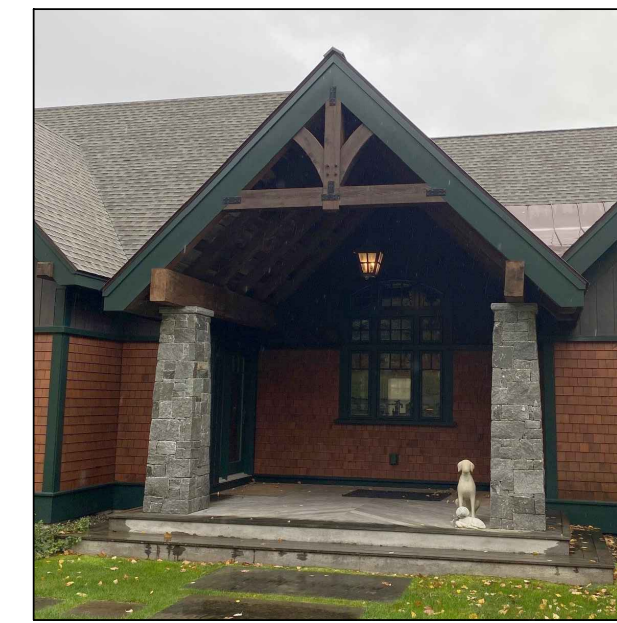
CONCEPTUAL RENDERING



EXISTING CONDITIONS IMAGE
 - EXTERIOR MATERIALS, COLORS AND FINISHES TO BE MATCHED
 - DECK TO BE REMOVED AND REBUILT TO REFLECT STYLE OF EXISTING HOUSE ARCHITECTURE

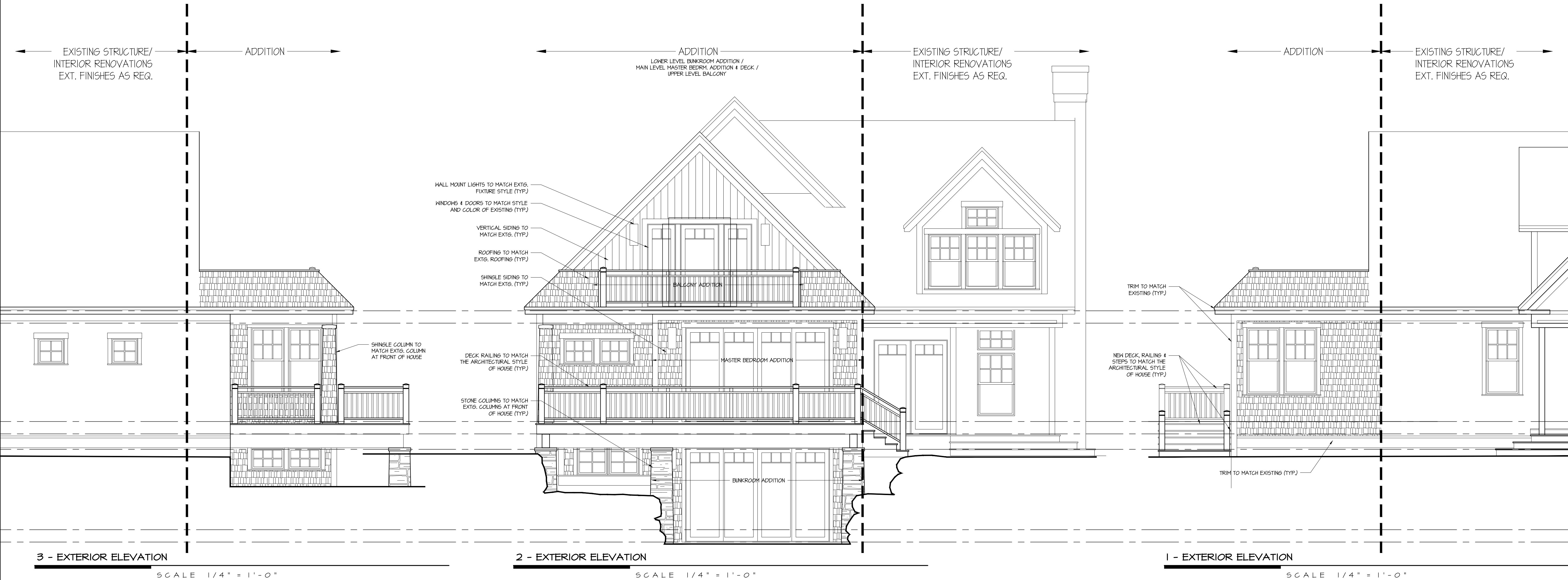


NEW WALL MOUNTED LIGHTS TO MATCH EXISTING FIXTURE STYLE



NEW DECK STONE COLUMNS AND DECKING TO MATCH EXISTING PORCH MATERIALS

| EXTERIOR BUILDING MATERIAL LEGEND | | | | | |
|-----------------------------------|---|-----------|-----------------|---|-----------|
| MATERIAL | MANUFACTURER / DESCRIPTION | COLOR/FIN | MATERIAL | MANUFACTURER / DESCRIPTION | COLOR/FIN |
| SIDING - SHINGLE | WOOD SPECIES AND FINISH TO MATCH EXISTING | | DECK RAILING | WOOD SPECIES AND FINISH TO MATCH EXISTING | |
| SIDING - VERTICAL | WOOD SPECIES AND FINISH TO MATCH EXISTING | | DECK TIMBER | WOOD SPECIES AND FINISH TO MATCH EXISTING | |
| FASCIA BOARDS | GREEN TO MATCH EXISTING | | DECK COLUMNS | STONE TO MATCH EXISTING | |
| SOFFIT | GREEN TO MATCH EXISTING | | WINDOW TRIM | GREEN TO MATCH EXISTING | |
| BAND, CORNER & WATERTABLE TRIM | GREEN TO MATCH EXISTING | | WINDOWS & DOORS | STYLE AND GREEN COLOR TO MATCH EXISTING | |
| DECKING | MATCH EXISTING PORCH DECKING | | ROOF - SHINGLE | ASPHALT SHINGLES TO MATCH EXISTING | |



REVISIONS

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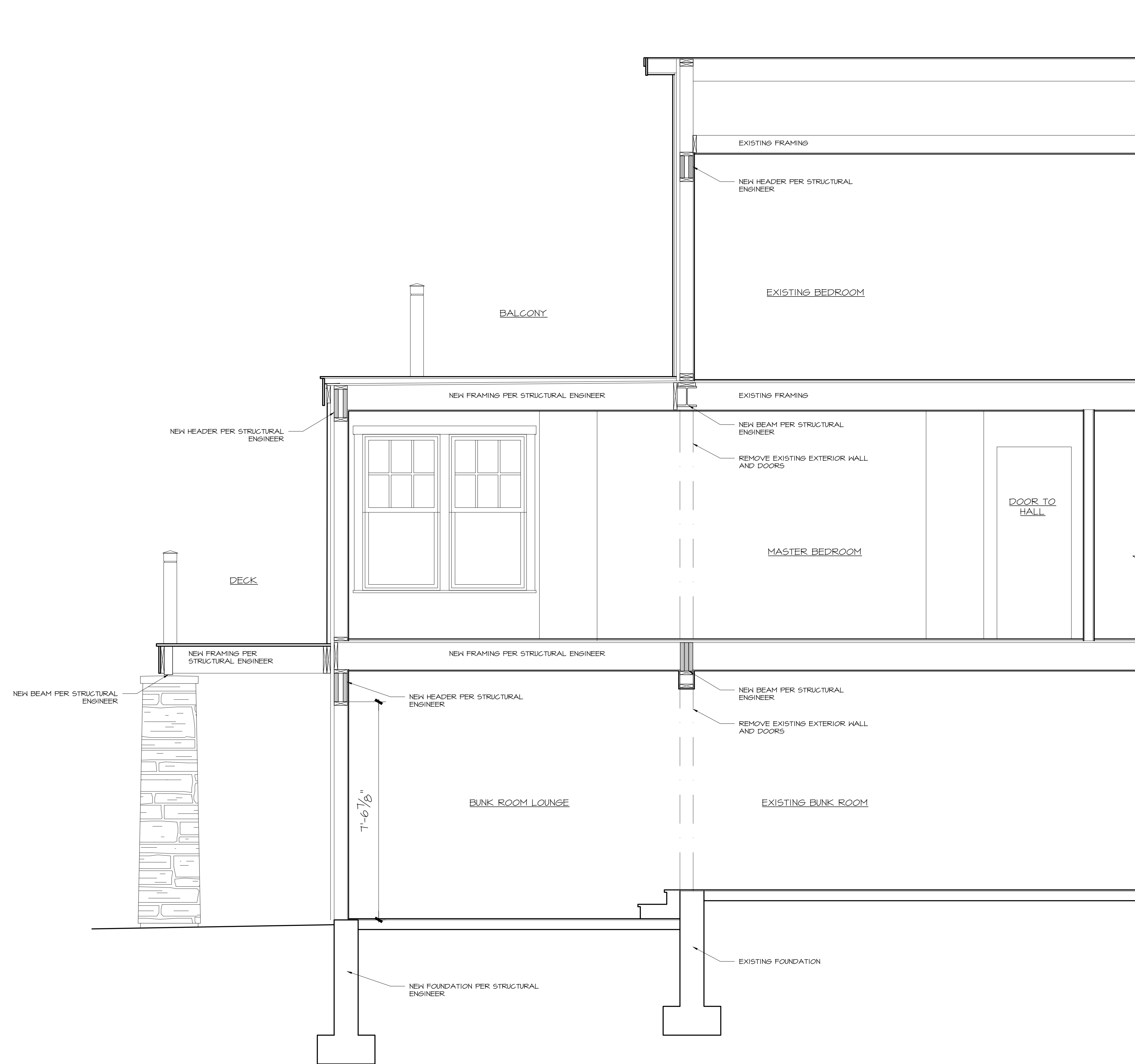
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RHOD ARCHITECTURAL REVIEW SET



PROPOSED
I - BUILDING SECTION
 SCALE 1/2" = 1'-0"

RHOD ARCHITECTURAL REVIEW SET

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| Drawn | BC / AC |
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| Sheet | A4.1 |

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ADDITION SECTION

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Ultimate Double Hung G2

The Ultimate Double Hung G2 window blends traditional beauty with state-of-the-art window performance. Customize your design with round top styles or single hung operation with optional bottom rail locking mechanism for easy operation.

- Extruded aluminum exterior and wood interior
- Fits openings up to 5.5 feet wide by 10.5 feet high
- Marvin's exclusive auto-lock activates when sashes are closed for convenient security
- Unique wash mode allows cleaning of both sides of glass from indoors
- Narrow checkrail maximizes view, while maintaining historical accuracy



Find Marvin products in your area and request a price quote. Connect with a dealer near you to get started.



Ultimate Sliding French Door

The Ultimate Sliding French Door features a space-saving sliding design and offers beautiful, substantial wood surrounds with nearly effortless operation and a durable sill for weather protection even in harsh climates.

- Wood interior, wood or aluminum-clad exterior
- Fits openings up to 16 feet wide by 9 feet high
- Offers the elegance and upscale look of a traditional French door
- Available in varied configurations as single, double, triple, or quad panels
- Traditional panel design with substantial side stiles and bottom rails

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Ultimate Swinging French Door G2

The Marvin Ultimate Swinging French door G2 combines a traditional French style with expert craftsmanship. To maximize views and access to the outdoors, select from inswing or outswing operation in configurations up to 14 feet wide.

- Wood interior, wood or aluminum-clad exterior
- Fits openings up to 14 feet wide by 10 feet high
- Inswing motion is for doors that open over steps or are exposed to the elements
- Outswing is for limited interior space, opening to an outdoor space without interrupting interior flow



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PROPOSED WINDOWS AND DOORS TO MATCH EXISTING
MARVIN GREEN CLAD EXTERIOR WINDOWS AND DOORS

10.5"W Lapalma Wall Sconce

Item Number: 115253

Enjoy the rich time-honored look of Lapalma, an updated lantern design revealing classic styling and handcrafted construction. The shapely lantern features Clear Seeded glass, which is complemented with a frame, scroll arm and accents, and hardware featured in a Coffee Bean finish. The sconce illuminates with 3 customer supplied faux candlelights and is available in custom colors, designs, sizes and dimmable energy efficient lamping options such as LED. The fixture is UL and cUL listed for wet and dry locations.

Call 800.222.4009 For Pricing Details!

Availability: Custom Crafted In Yorkville, New York Please Allow 56 Days

Order Info



Dimensions

→
Total Height: 27"

Total Width: 10.25

Total Depth: 12

Total Weight: 9.5 lbs.

Bulb Info

→
Bulb Type: E12

Bulb Wattage: 60

Bulb Quantity: 3

Finish & Lens

→
Finish: Coffee Bean
Lens: Clear Seeded Glass
UL Wet Location - If you intend to utilize this product in a coastal or any other challenging wet location, please call us for a quote.



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